

STAFF REPORT

COMMISSIONERS' MEETING: April 19, 2022

DATE: April 13, 2022
TO: McDuffie County Board of Commissioners
FROM: Chase N. Beggs, Planning & Zoning Director *CNB*
ISSUE: Consideration to approve a variance request for a reduction to the side setback requirement for a drive-thru tunnel car wash at 1640 Washington Road, Thomson, GA 30824, Parcel OT080004.

ZONE: C-2 (Highway Commercial)
Acreage: 2.78 Acres

BACKGROUND: Thomson Land LLC submitted an application requesting a variance for a reduction of 15' from the side setback requirement (Section 44-82) in order to construct a drive-thru tunnel car wash. The car wash will be constructed on a 2.78 acre tract of property which has frontage on Washington Road and Old Washington Road.

PLANNING BOARD RECOMMENDATION: Yays 6, Nays 0 -- The Planning Board made a recommendation to approve the variance request.

FACTS AND FINDINGS:

1. The property is zoned commercial and adjoins existing commercial property.
2. The variance would allow a drive-thru tunnel car wash which would be positioned to the Northern property line.
3. The developer plans to construct a private drive that will allow patrons to exit onto Old Washington Road.
4. The developer would like to leave room on this site for a potential jiffy lube store that would compliment the car wash.

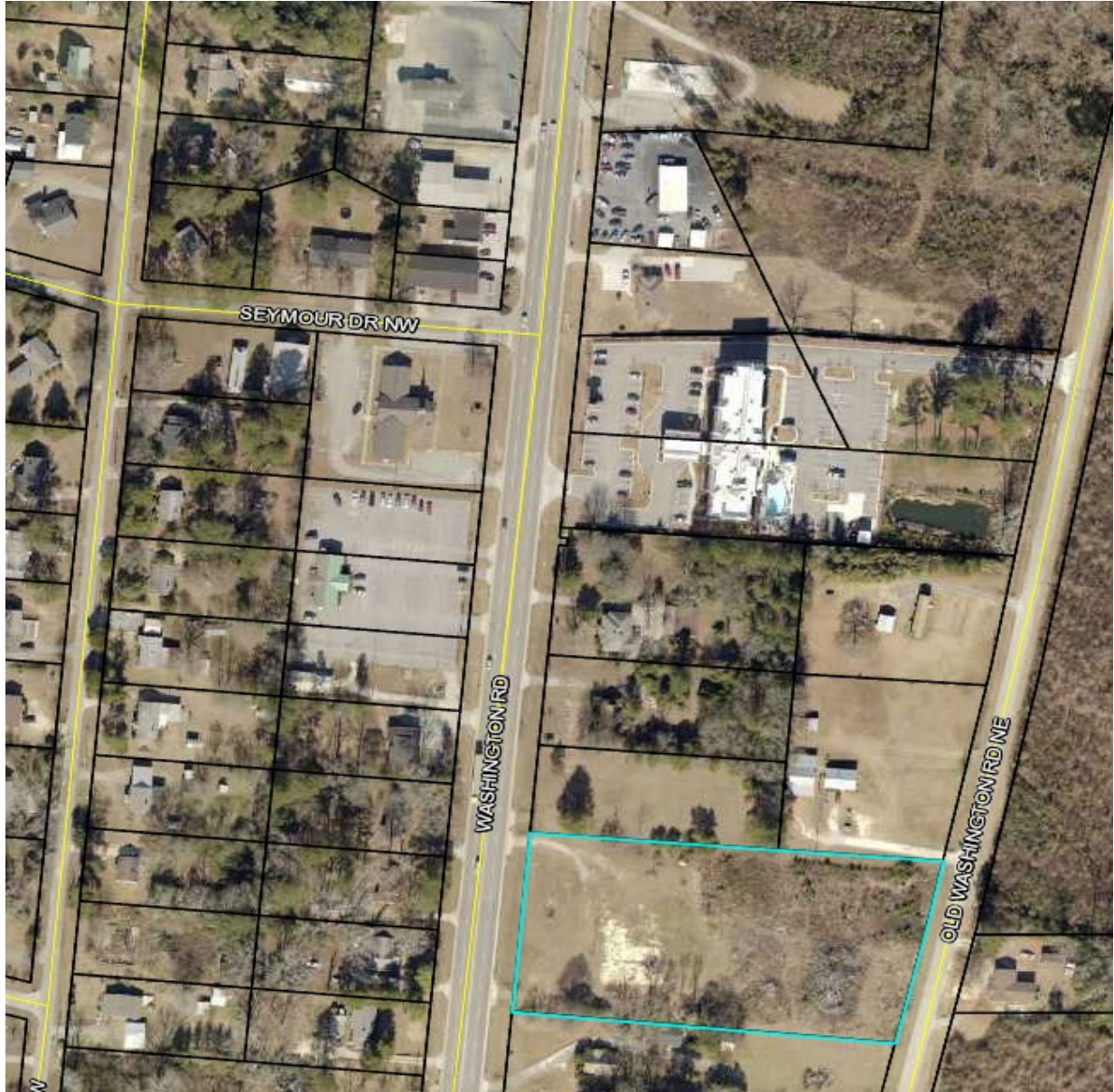
ALTERNATIVES:

1. The Board approves the Planning Board's recommendation to **approve** the variance request.
2. The Board **denies** the variance request.

RECOMMENDATION: Staff recommends the Board adopt alternative #1 and approve the variance request.

ATTACHMENTS:

1. Aerial of Tax Map
2. Renderings & Site Plan



PLAN REVIEW DATA

1. GENERAL DATA

A. PROPERTY ADDRESS: 1640 Washington Road
Thomson, GA 30824

B. MUNICIPAL AUTHORITY: City of Thomson, Georgia
706-595-1781

2. CODE REQUIREMENTS

A. OCCUPANCY CLASSIFICATION: Group B

B. FIRE DISTRICT PROVISIONS: Not Applicable

C. TYPE OF CONSTRUCTION: Type V-B Un-Protected

* NOTE: ALL CODES HAVE GEORGIA AMENDMENTS.
MAX. TRAVEL DISTANCE: B=200'

*2018 IBC CHAPTER 17
SPECIAL INSPECTION REQUIREMENTS*

- SPECIAL INSPECTIONS "ARE NOT" REQUIRED FOR THIS PROJECT
- SPECIAL INSPECTIONS AS SHOWN BELOW
- 1. INSPECTION OF FABRICATORS (1704.2.5)**
WHERE FABRICATION OF STRUCTURAL LOAD-BEARING MEMBERS AND ASSEMBLIES IS BEING PERFORMED ON THE PREMISES OF A FABRICATOR'S SHOP. SPECIAL INSPECTION OF THE FABRICATED ITEMS SHALL BE REQUIRED BY THIS SECTION AND AS REQUIRED ELSEWHERE IN THE CODE.
- 2. STEEL CONSTRUCTION (1705.2)**
SPECIAL INSPECTIONS FOR STEEL ELEMENTS OF BUILDINGS AND STRUCTURES SHALL BE AS REQUIRED IN THIS SECTION.
- 3. CONCRETE CONSTRUCTION (1705.3)**
SPECIAL INSPECTIONS AND VERIFICATIONS FOR CONCRETE CONSTRUCTION SHALL BE AS REQUIRED BY THIS SECTION.
- 4. MASONRY CONSTRUCTION (1705.4)**
MASONRY CONSTRUCTION SHALL BE INSPECTED AND VERIFIED IN ACCORDANCE WITH TMS 403/ACI 530/ASCE 5 AND TMS 602/ACI 530.1/ASCE 6 QUALITY ASSURANCE PROGRAM REQUIREMENTS.
- 5. WOOD CONSTRUCTION (1705.5)**
SPECIAL INSPECTIONS OF THE FABRICATION PROCESS OF PREFABRICATION WOOD STRUCTURAL ELEMENTS AND ASSEMBLIES SHALL BE IN ACCORDANCE WITH SECTION 17042.5 SPECIAL INSPECTIONS OF SITE-BUILT ASSEMBLIES.
- 6. SOILS (1705.6)**
SPECIAL INSPECTIONS FOR EXISTING SITE CONDITIONS, FILL PLACEMENT AND LOAD BEARING REQUIREMENTS SHALL BE AS REQUIRED BY THIS SECTION AND THABLE 1705.6 THE APPROVED GEOGRAPHICAL REPORT, AND THE CONSTRUCTION DOCUMENTS PREPARED BY THE REGISTERED DESIGN PROFESSIONALS SHALL BE USED TO DETERMINE COMPLIANCE. DURING FILL PLACEMENT, THE SPECIAL INSPECTOR SHALL DETERMINE THE PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- 7. DRIVEN DEEP FOUNDATIONS (1705.7)**
SPECIAL INSPECTIONS SHALL BE PERFORMED DURNING INSTALLATION AND TESTING OF DRIVEN DEEP FOUNDATION ELEMENTS AS REQUIRED BY TABLE 1705.7 THE APPROVED INSTRUCTION DOCUMENTS PREPARED BY THE REGISTERED DESIGN PROFESSIONALS SHALL BE USED TO DETERMINE COMPLIANCE.
- 8. CAST-IN-PLACE DEEP FOUNDATIONS (1705.8)**
SPECIAL INSPECTIONS SHALL BE PERFORMED DURING INSTALLATION AND TESTING OF CAST-IN-PLACE DEEP FOUNDATION ELEMENTS AS REQUIRED BY TABLE 1705.8 THE APPROVED ISOTERICALLY REPORT, AND THE CONSTRUCTION DOCUMENTS PREPARED BY THE REGISTERED DESIGN PROFESSIONALS, SHALL BE TO DETERMINE COMPLIANCE.
- 9. HELICAL PILE FOUNDATIONS (1705.9)**
SPECIAL INSPECTIONS SHALL BE PERFORMED CONTINUOUSLY DURING INSTALLATION OF HELICAL PILE FOUNDATIONS. THE INFORMATION RECORDED SHALL INCLUDE INSTALLATION EQUIPMENT USED, FILE DIMENSIONS, TOP ELEVATIONS, FINAL DEPTH, FINL INSTALLATION TORQUE AND OTHER PERTINENT INSTALLATION DATA AS REQUIRED BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. THE APPROVED GEOTECHNICAL REPORT AND THE CONSTRUCTION DOCUMENTS PREPARED BY THE REGISTERED DESIGN PROFESSIONAL, SHALL BE USED TO DETERMINE COMPLIANCE.
- 10. SPECIAL INSPECTIONS FOR WIND RESISTANCE (1705.10)**
SPECIAL INSPECTIONS ITEMIZED INSPECTIONS 1705.10.1 THROUGH 1705.10.3
- 11. SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE (1705.11)**
SPECIAL INSPECTIONS ITEMIZED INSPECTIONS 1705.11.1 THROUGH 1705.11.8
- 12. TESTING AND QUALIFICATIONS FOR SEISMIC RESISTANCE (1705.12.4)**
THE TESTING AND QUALIFICATION SPECIFIED IN SECTIONS 1705.12.1 THROUGH 1705.12.4
- 13. SPRAYED FIRE-RESISTANT MATERIALS (1705.13)**
SPECIAL INSPECTIONS FOR SPRAYED FIRE RESISTANT MATERIALS APPLIED TO FLOOR, ROOF AND WALL ASSEMBLIES AND STRUCTURAL MEMBERS SHALL BE IN ACCORDANCE WITH SECTIONS 1705.13.1 THROUGH 1705.13.6 SPECIAL INSPECTIONS SHALL BE BASED ON THE FIRE RESISTANCE DESIGN AS DESIGNATED IN THE APPROVED CONSTRUCTION DOCUMENTS.
- 14. MASTIC AND INTUMESCENT FIRE-RESISTANT COATINGS (1705.14)**
SPECIAL INSPECTIONS FOR MASTIC AND INTUMESCENT FIRE-RESISTANT COATINGS APPLIED TO STRUCTURAL ELEMENTS AND DECKS SHALL BE IN ACCORDANCE WITH AWC 12-B SPECIAL INSPECTIONS SHALL BE BASED ON THE FIRE RESISTANCE DESIGN AS DESIGNATED IN THE APPROVED CONSTRUCTION DOCUMENTS
- 15. EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS) (1705.15)**
SPECIAL INSPECTIONS SHALL BE REQUIRED FOR ALL EIFS APPLICATIONS
- 16. FIRE-RESISTANT PENETRATIONS AND JOINTS (1705.16)**
IN HIGH-RISE BUILDINGS OR IN BUILDINGS ASSIGNED TO RISK CATEGORY III OR IV IN ACCORDANCE WITH SECTION 1604.5, SPECIAL INSPECTIONS FOR THROUGH-PENETRATIONS, MEMBRANE PENETRATION FIRESTOPS, FIRE RESISTANCE JOINT SYSTEMS, AND PERIMETER FIRE BARRIER SYSTEMS THAT ARE TESTED AND LISTED IN ACCORDANCE WITH SECTIONS 174.3.1.2, 174.4.1.2, 715.3, AND 725.4 SHALL BE IN ACCORDANCE WITH SECTION 1705.16.1 OR 1705.16.2
- 17. SPECIAL INSPECTION FOR SMOKE CONTROL SYSTEMS (1705.17)**
SMOKE CONTROL SYSTEMS SHALL BE TESTED BY A SPECIAL INSPECTOR

SHINE ON CARWASH
1640 WASHINGTON ROAD
THOMSON, GEORGIA 30824

FOR
ROBERT ALAN WILSON
THOMSON LAND, LLC
2820 BOILING SPRINGS RD
SPARTANBURG, SC 29316

FEBRUARY, 2022
ABBREVIATIONS

ABV. ABOVE	FTG. FOOTING	PLWD. PLYWOOD	VERT. VERTICAL
A/C AIR CONDITIONING	F.V. FIELD VERIFY	PSF POUNDS PER SQUARE FOR	W WASHER
A.F.F. ABOVE FINISHED FLOOR	GL. GLASS	P.T. PRESSURE TREATED	W/ WITH
AMSL ABOVE MEAN SEA LEVEL	H.B. HOSE BIBB	R/A RETURN AIR	W.C. WATER CLOSET (TOILET)
B.C. BASE CABINET	HGT. HEIGHT	R&S ROD AND SHELF	OR WALL CABINET
BRG. BEARING	HD. HEADER	REF. or REFG. REFRIGERATOR	WOOD WOOD
BTWN. BETWEEN	HVAC HEATS, VENTILATION & A/C UNIT	REINF. REINFORCING	WALK IN CLOSET
BM. BEAM	JOIST	RM. ROOM	WATER HEATER
CAB. CABINET	K.D.A.T. KILZ DRIED AFTER TREATMENT	R.O. ROUGH OPENING	WELDED WIRE MESH
CAR. CARPET	KW. KNEE WALL	REQ'D. REQUIRED	WELDED WIRE FABRIC
CATH. CATHEDRAL	LAUN. LAUNDRY	RM. ROOM	YELLOW PINE
CJ. CEILING JOIST	LN. LINEN	S. or SLP. SLOPE	
CLG. CEILING	LVL. LAMINATED VENEER LUMBER	SF. SQUARE FEET	
CMU CONCRETE MASONRY UNIT	MAX. MAXIMUM	SH. SHELF	
C.O. CASED OPENING	MANUF. MANUFACTURER	SHLV. / SHELVLNG	
CONC. CONCRETE	MBL. MARBLE	SHT. SHEET	
CTR. COUNTER	MED. CAB. MEDICINE CABINET	SHW. or SHOW. SHOWER	
D. DRYER	MSL. MEAN SEA LEVEL	S.L. SIDE LITE	
DBL. DOUBLE	MECH. MECHANICAL	SPECS. SPECIFICATIONS	
DJ. DOUBLE JOIST	MC MICROWAVE CABINET	SYP. SOUTHERN YELLOW PINE	
DN. DOWN	MIN. MINIMUM	SQ. SQUARE	
DW. DISHWASHER	MIR. MIRROR	T. TILE	
EA. EACH	N.T.S. NOT TO SCALE	T&G. TONGUE & GROOVE	
EXT. EXISTING	OC. ON CENTER	TRANS. TRANSOM	
EW. EACH WAY	O.H. OVERHANG	TPD. TOILET PAPER DISPENSER	
FND. FOUNDATION	OV. OVENS	TB. TOWEL BAR	
FJ. FLOOR JOIST	PAN. or PANT. PANTRY	TR. TOWEL RING	
FR. FRENCH	P.C. PULL CORD	TR. TYPICAL	
	PK. POCKET	U.N.O. UNLESS NOTED OTHERWISE	
	PL. PLATE	V. VINYL	

CODE DATA:

JURISDICTION: Savannah, Georgia / Chatham County, Georgia

INTERNATIONAL BUILDING CODE [IBC]: 2018¹

INTERNATIONAL RESIDENTIAL CODE [IRC]: 2018^{1,2}

INTERNATIONAL PLUMBING CODE [IPC]: 2018¹

THE NATIONAL MECHANICAL CODE [MCC]: 2018¹

INTERNATIONAL FUEL GAS CODE [IFGC]: 2018¹

INTERNATIONAL ENERGY CONSERVATION CODE [IECC]: 2009¹

INTERNATIONAL FIRE CODE [IFC]: 2018^{1,2}

NATIONAL ELECTRICAL CODE [NEC]: 2018²

LIFE SAFETY CODE, NFPA 101 [NFPA]: 2018²

STANDARD SWIMMING POOL CODE [SSPC]: 1994⁴

ADA STANDARDS FOR ACCESSIBLE DESIGN: 2010

SCOPE OF WORK

2018 INTERNATIONAL BUILDING CODE (W/ GEORGIA AMENDMENTS)

THE WORK INCLUDED IN THIS CONTRACT CONSIST OF A CMU AND LIGHT FRAME BUILDING. THE BUILDING S.Q.F.T. IS 3,588 AS INDICATED IN THESE PLANS.

SUMMARY

OCCUPANT LOAD:	AREA:	FACTOR:	OCCUPANTS:
BUSINESS	504	100 GROSS	5.04
STORAGE	1,016	500 GROSS	2.03
TUNNEL	2,625	500 GROSS	5.25

REQUIRED EXIT WIDTH:	LOAD:	FACTOR:	WIDTH REQUIRED:	WIDTH PROVIDED:
CAR WASH	12 OCC.	.2 IN/OCC	2.24 INCHES	36 INCHES - 1 EXITS

MAXIMUM DISTANCE TO EXISTS: 118'-9" FEET (200 FEET ALLOWABLE)

PLUMBING FIXTURES REQ'D.	OCCUPANTS:	WATER CLOSETS:	LAVATORIES:	DRINK FOUNTAINS:	OTHER:
1/500 OCCUPANT MAXIMUM:	11.36	1 MEN/WOMEN			
1/750 OCCUPANT MAXIMUM:	11.36		1 MEN/WOMEN	1 HI-LO	1
1/1000 OCCUPANT MAXIMUM:	11.36				
1 SERVICE SINK					

- INCLUDING GEORGIA AMENDMENTS AS ADOPTED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS (DCA). 2014 GEORGIA AMENDMENTS ARE AVAILABLE AT THE LINK BELOW : <http://www.dca.state.ga.us/development/constructioncodes/programs/codeAmendments.asp>
- INCLUDING ALL FIRE CODES AND MODIFICATIONS ADOPTED BY THE STATE OF GEORGIA PER O.C.G.A. 120-3-3.
- PLUMBING, ELECTRICAL AND ENERGY CODE REQUIREMENTS HAVE BEEN OMITTED FROM THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS. THEREFORE, THE PLUMBING REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, THE ELECTRICAL REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, AND THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE MUST BE USED FOR ONE AND TWO FAMILY DWELLING CONSTRUCTION.
- SWIMMING POOLS, SPAS AND HOT TUBS INSTALLED IN ONE OR TWO FAMILY DWELLINGS SHALL COMPLY WITH THE APPENDIX G OF THE INTERNATIONAL RESIDENTIAL CODE 2012 EDITION.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS AND REVISIONS OF THE INTERNATIONAL BUILDING CODE- 2018 EDITION, AND LOCAL CODES.

THE AMERICAN NATIONAL STANDARD FOR PHYSICALLY HANDICAPPED PEOPLE [ANSI A117.1] AND THE AMERICANS WITH DISABILITIES ACT [ADA].

ALL CONSTRUCTION SHALL COMPLY WITH THE STATE FIRE SAFETY STANDARDS, THE NFPA-101 LIFE SAFETY CODE- 2018 EDITION AND INTERNATIONAL FIRE PREVENTION CODE 2018 EDITION.

ALL ELECTRICAL INSTALLATIONS MUST COMPLY WITH THE NATIONAL ELECTRICAL CODE- 2018 EDITION.

ALL HVAC INSTALLATIONS MUST COMPLY WITH THE INTERNATIONAL MECHANICAL CODE- 2018 EDITION AND THE INTERNATIONAL GAS CODE- 2018 EDITION.

ALL PLUMBING INSTALLATIONS MUST COMPLY WITH THE INTERNATIONAL GAS CODE- 2018 EDITION AND THE INTERNATIONAL PLUMBING CODE - 2018 EDITION.

SPECIAL INSULATION NOTES:

- ALL SIDEWALL INSULATION BY GENERAL CONTRACTOR.
- INSULATION NOTES : INSTALL WHERE APPLICABLE.
- BUILDING INSULATION TO BE BATT OR APPROVED SPRAY FOAM FORMULA APPROVED EQUAL IN WALLS, ATTIC, CEILINGS, AND FLOORS WITH AN R-VALUE OF 3.7 PER INCH : WHERE APPLICABLE.
INSULATION REQUIREMENTS :
EXTERIOR WALLS = R-13 (MIN.) PER IEC 2018 TAABLE 502.2 (1).
ROOF = R - 38 PER IECC 2018 TABLE 502.1 & 502.2.

BOSWELL DESIGN SERVICES, INC.

OFFICE : 4700 EAST HIGHWAY 80
Unit N, Suite 1
MAILING : 103 NASSAU DRIVE
SAVANNAH, GEORGIA 31410
912 - 897 - 6932
LAHBOS@Bellsouth.net

FIRE RESISTANCE REQUIREMENTS
PER TABLE 601 AND 602

FIRE PROTECTION REQUIREMENTS :	REQUIRED RATING	SUPPLIED RATING
1. Structural Frame	0 Hour Required	0 HOUR
2. Bearing Walls: Exterior Interior	0 Hour Required 0 Hour Required	0 HOUR 0 HOUR
3. Nonbearing Walls and Partitions Exterior	0 Hour Required	0 HOUR
4. Nonbearing Walls and Partitions Interior	0 Hour Required.	0 HOUR
5. Floor Construction including supporting beams and joists	0 Hour Required.	0 HOUR
6. Roof Construction including supporting beams and joists	0 Hour Required.	0 HOUR

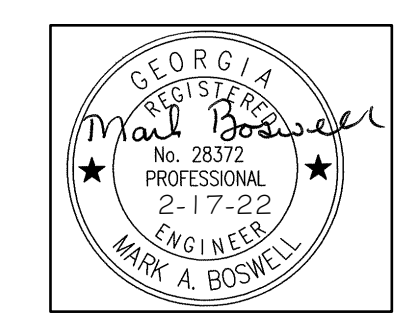
INDEX OF DRAWINGS:

SHT. #	DESCRIPTION														
C	COVER SHEET														
A1	FLOOR PLAN														
A2	ELEVATIONS														
A3	ROOF, LIFE SAFETY PLAN														
A4	ENLARGED PLANS AND ELEVATIONS														
A5	WALL SECTIONS														
A6	WALL SECTIONS														
S1	FOUNDATION PLAN														
S2	NOTES AND DETAILS														
M1	MECHANICAL PLAN														
M2	MECHANICAL NOTES														
E1	GENERAL LIGHTING PLAN														
E2	GENERAL POWER PLAN														
E3	DEDICATED POWER PLANS														
E4	ELECTRICAL NOTES														
E5	PANEL SCHEDULES														
P1	PLUMBING SUPPLY PLAN - COLD														
P2	PLUMBING SUPPLY PLAN - HOT														
P3	PLUMBING WASTE PLAN														
P4	PLUMBING NOTES AND DETAILS														

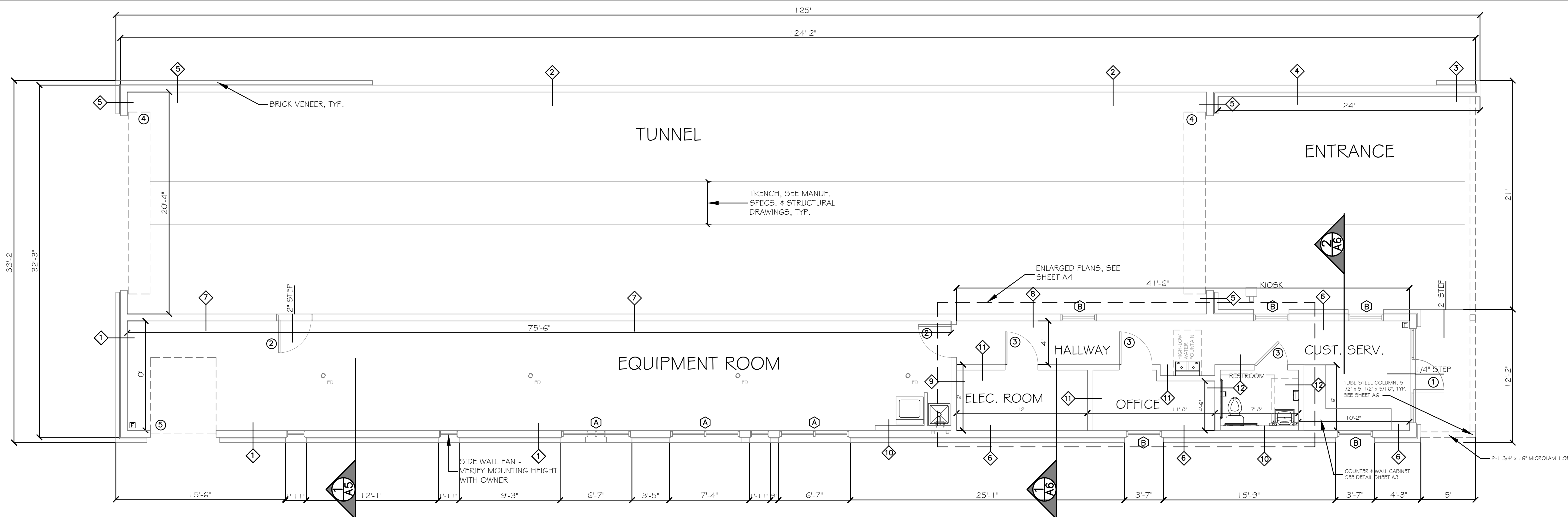
BUILDING INFORMATION: IBC-2012

OCCUPANCY TYPE	DESCRIPTION	CONSTRUCTION		SPRINKLER	AREA (TABLE 503)			HEIGHT		STORIES	
		TYPE	PROTECTION		ALLOW	ACTUAL	ALLOW	ACTUAL	ALLOW	ACTUAL	
B	BUSINESS	V-B	Un-Protected	No	BUSINESS	9,000	4,145	40'-0"	23'-7"	2	1

Permit Set

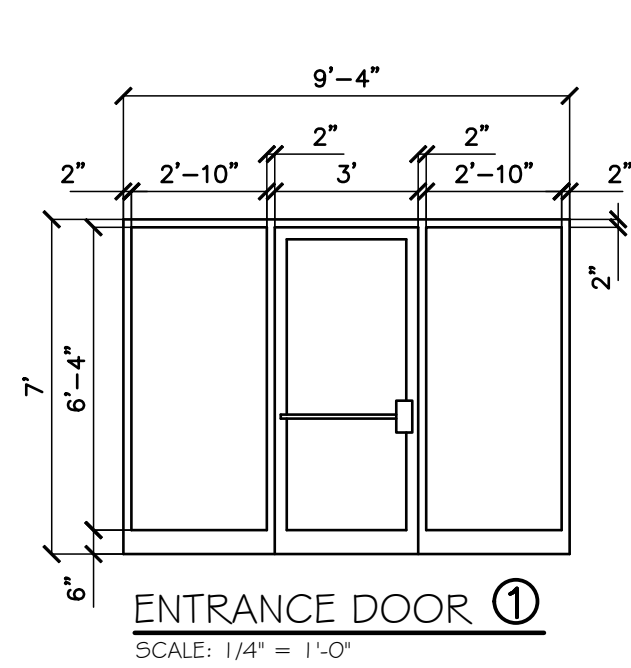


C



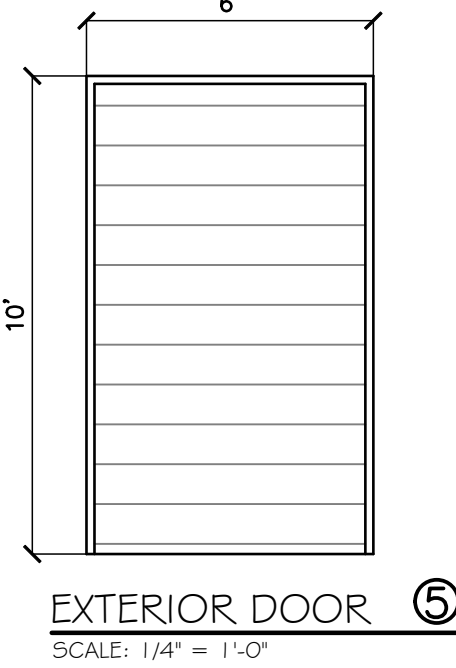
FLOOR PLAN

3/16" = 1'-0"



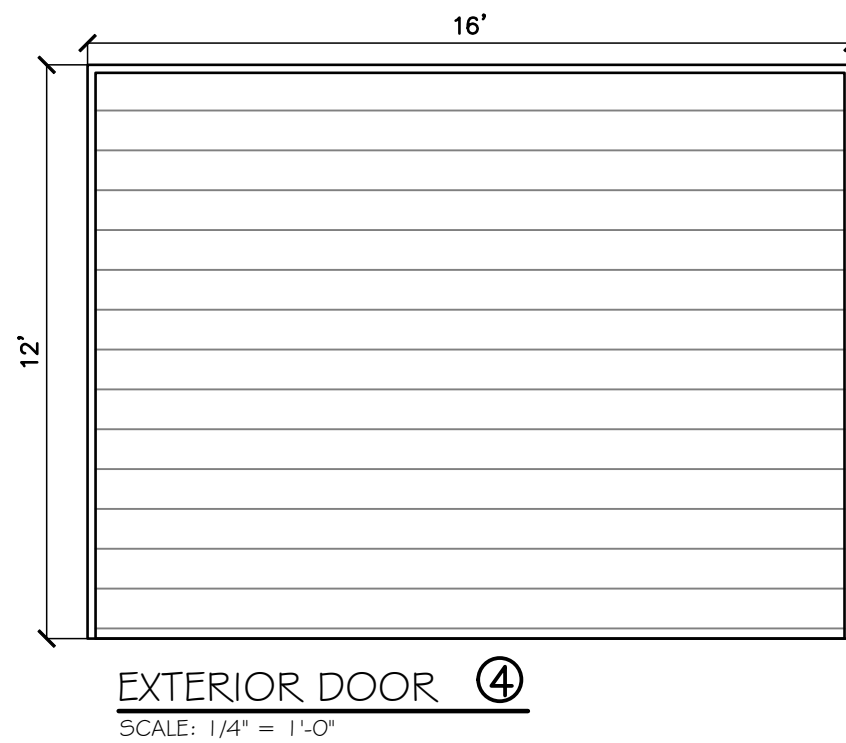
ENTRANCE DOOR 1

SCALE: 1/4" = 1'-0"



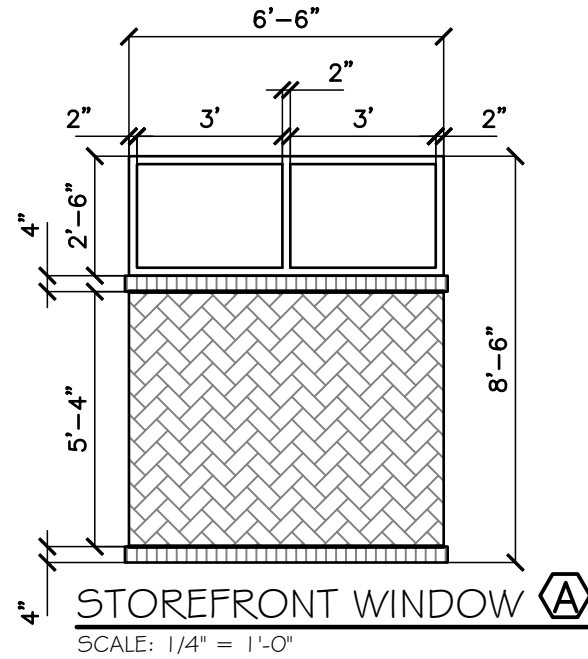
EXTERIOR DOOR 5

SCALE: 1/4" = 1'-0"



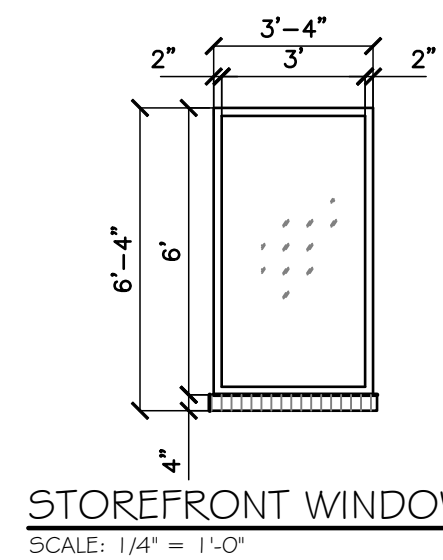
EXTERIOR DOOR 4

SCALE: 1/4" = 1'-0"



STOREFRONT WINDOW A

SCALE: 1/4" = 1'-0"



STOREFRONT WINDOW B

SCALE: 1/4" = 1'-0"

WALL LEGEND:

- 1 EXTERIOR WALL: CMU WALL TO 14'-0" W/BRICK VENEER ON EXTERIOR SIDE. UN-FINISHED ON INTERIOR SIDE.
- 2 EXTERIOR WALL: CMU WALL TO 14'-0" W/STUCCO FINISH EXTERIOR. PLASTIC PANELS INTERIOR, INSTALL AS PER MANUF. SPECS. COLOR AS PER OWNER.
- 3 EXTERIOR WALL: CMU WALL TO 14'-0" W/BRICK VENEER EXTERIOR ON BOTH SIDES. COLOR AS PER OWNER.
- 4 EXTERIOR WALL: CMU WALL TO 14'-0" W/BRICK VENEER ON ENTRANCE SIDE AND STUCCO ON PROPERTY LINE SIDE AS PER OWNER.
- 5 EXTERIOR WALL: CMU WALL TO 14'-0" W/BRICK VENEER ON ENTRANCE SIDE. PLASTIC PANELS INTERIOR, INSTALL AS PER MANUF. SPECS. COLOR AS PER OWNER.
- 6 EXTERIOR WALL: CMU WALL TO 14'-0" W/BRICK VENEER ON EXTERIOR SIDE. PAINTED FINISHED ON INTERIOR SIDE. COLOR AS PER OWNER.
- 7 INTERIOR WALL: CMU WALL TO 14'-0" W/PLASTIC PANELS ON TUNNEL SIDE. INSTALL AS PER MANUF. SPECS. UN-FINISHED ON EQUIPMENT ROOM SIDE. COLOR AS PER OWNER.
- 8 INTERIOR WALL: CMU WALL TO 14'-0" W/PLASTIC ON TUNNEL SIDE. INSTALL AS PER MANUF. SPECS. PAINTED FINISHED ON HALLWAY SIDE. COLOR AS PER OWNER.
- 9 INTERIOR WALL: CMU WALL TO 14'-0" UNFINISHED ON EQUIPMENT ROOM SIDE AND PAINTED FINISHED ON ELEC. ROOM/HALLWAY SIDE. COLOR AS PER OWNER.
- 10 EXTERIOR WALL: CMU WALL TO 14'-0" W/BRICK VENEER ON EXTERIOR SIDE. 2XG WOOD STUDS AT 16" O.C. TO 14'-0" W/ 1 LAYER 5/8" MOISTURE RESISTANT GYP. BOARD ON THE INTERIOR SIDE.
- 11 INTERIOR WALL: 2XG WOOD STUDS AT 16" O.C. TO 14'-0" W/ 1 LAYER 5/8" GYP. BOARD ON EACH SIDE.
- 12 EXTERIOR WALL: 2XG WOOD STUDS AT 16" O.C. TO 4'-0" W/CAP # 1 LAYER MOISTURE RESISTANT 5/8" GYP. BOARD ON ONE SIDE.

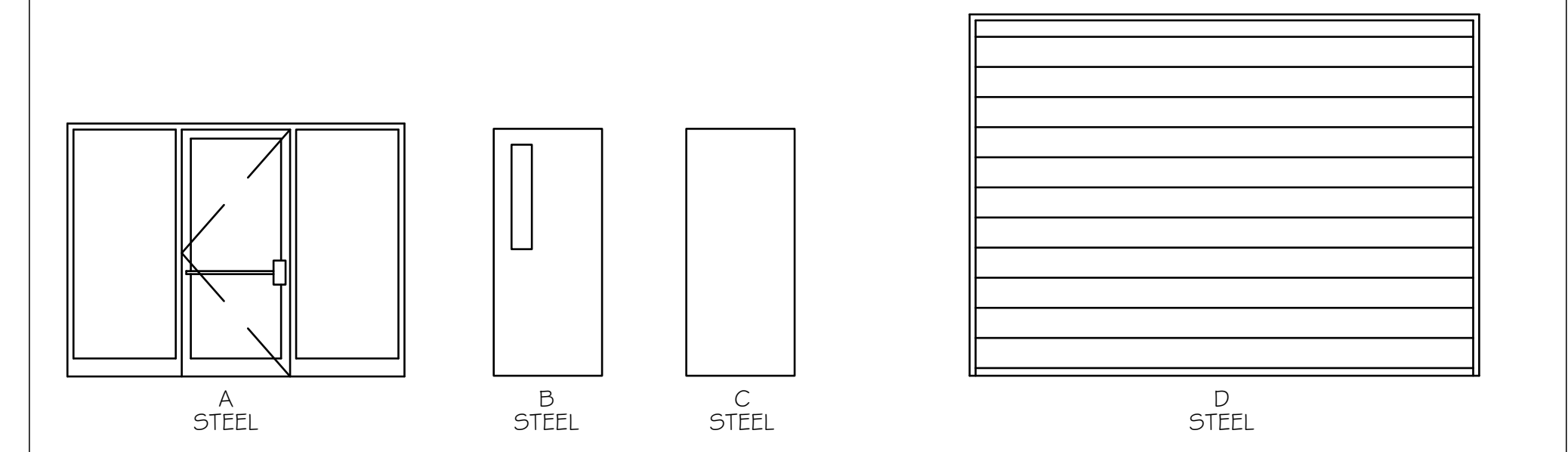
ROOM FINISH SCHEDULE

AREA	FLOOR		WALL		BASE		CEILING		HT.	
	FIN.	CON.	FIN.	CON.	FIN.	CON.	FIN.	CON.		
ENTRANCE	C	CMU	--	HP	--	FF	FF	FF	14'-0"	OWNER TO SELECT CEILING PANELS
CUSTOMER SERVICE	C	CMU/DW	SGF	6" V	FF	FF	FF	FF	14'-0"	
RESTROOM	C	CMU/DW	SGF	6" V	FF	FF	FF	FF	14'-0"	
TUNNEL	C	CMU	--	PP	--	FF	FF	FF	14'-0"	OWNER TO SELECT WALL & CEILING PANELS
OFFICE	C	CMU/DW	SGF	6" V	FF	FF	FF	FF	14'-0"	
ELEC. ROOM	VCT	SGF	6" V	--	--	--	--	--	14'-0"	
EQUIPMENT ROOM	C	CMU	--	--	--	--	--	--	14'-0"	
HALLWAY	C	CMU/DW	SGF	6" V	FF	FF	FF	FF	14'-0"	

C/CONCRETE PC/POLISHED CONCRETE V/VINYL DW/DRYWALL PWD/PLYWOOD HM/HOLLOW METAL EGF/EGGSHELL PAINT FINISH
 WRD/WATER RESISTANT DRYWALL SGF/SEMI GLOSS PAINT FINISH FF/FLAT PAINT FINISH ST/STAIN FINISH ACT/ACOUSTICAL CEILING TILE
 CMU/CONCRETE MASONRY UNIT CT/CERAMIC TILE S/SPECS GF/GLOSS FINISH AST/ANTI STATIC TILE OP/CARPET M/METAL LINER PANEL
 VCT/VINYL COMPOSITION TILE PL/PLASTIC LAMINATE NSS/NON-SLIP CONCRETE FINISH WITH NON-PERMEABLE SEALER CAP/COLOR AS PER OWNER
 EXP / EPOXY FINISH - SEE SECTION 11/A-4 PP/PLASTIC PANELS BRK/BRICK VENEER STO/STUCCO FINISH HP/HARDIE PANELS

DOOR SCHEDULE

MARK	TYPE	SIZE	FINISH	FRAME	REMARKS
1	A	STOREFRONT 3'-0" X 7'-0" DOOR	-/OUT -/IN	HM	EXTERIOR MANUAL SWING DOOR SYSTEM. LIGHT TO BE INSULATED TEMPERED GLASS AND FIXED PANE SIDE LITES, OWNER TO VERIFY.
2	B	3'-0" X 7'-0"	SGF/OUT SGF/IN	HM	1 1/2 GA. HOLLOW METAL DOOR & FRAME
3	C	3'-0" X 7'-0"	SGF/OUT SGF/IN	HM	1 1/2 GA. HOLLOW METAL DOOR & FRAME
4	D	16'-2" X 12'-0"	SGF/OUT SGF/IN	HM	4X8 TUBE STEEL FRAME
5	D	6'-0" X 10'-0"	-/OUT -/IN	HM	4X8 TUBE STEEL FRAME



WINDOW SCHEDULE

MARK	TYPE	SIZE	FINISH	FRAME	REMARKS
A	A	STOREFRONT	--	HM	INSUL. GLASS, (IMPACT GLASS - OWNER TO VERIFY)
B	B	STOREFRONT	--	HM	INSUL. GLASS, (IMPACT GLASS - OWNER TO VERIFY)

Permit Set

NOTES:

- ACCESSIBLE ENTRANCES - ACCESSIBLE BUILDING AREA REQUIRED TO BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN AND ADDITIONAL DIRECTIONAL SIGNS AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.
- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IS REQUIRED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE. THE SYMBOL A WHITE FIGURE ON BLUE BACKGROUND (COLOR NO. 15090) IN FEDERAL STANDARD 595A. EXCEPTION: A SPECIAL SIGN OR IDENTIFICATION WHICH COMPLEMENTS DECOR OR A UNIQUE DESIGN MAY BE APPROVED WHEN IT IS DETERMINED BY THE ENFORCING AGENCY THAT SUCH SIGNS IDENTIFICATION PROVIDE ADEQUATE DIRECTION.
- BRAILLE - CONTRACTED GRADE 2 BRAILLE IS TO BE USED WHEREVER BRAILLE IS REQUIRED. DOTS ARE .01 INCH ON CENTERS IN EACH CELL WITH .02 INCH SPACE BETWEEN CELLS. DOTS ARE RAISED A MINIMUM OF 0.025 INCH ABOVE THE BACKGROUND.
- CHARACTERS - LETTERS AND NUMBERS ON SIGNS ARE TO HAVE A WIDTH TO HEIGHT RATIO OF BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH TO HEIGHT RATIO BETWEEN 1:5 AND 1:10. WHEN RAISED OR RECESSED CHARACTERS OR SYMBOLS ARE USED THEY ARE TO BE RAISED OR RECESSED A MINIMUM 1/32 INCH AND ARE TO BE SANS SERIF TYPE. RAISED CHARACTERS ARE TO BE AT LEAST 5/8 INCH HIGH AND RECESSED CHARACTERS AND SYMBOLS ARE TO HAVE 1/4" MINIMUM STROKE WIDTH.

ABBREVIATIONS			
ABV.	ABOVE	EW	EACH WAY
A/C	AIR CONDITIONING	EW	EACH WAY
A.F.F.	AIR CONDITIONING	EW	EACH WAY
ANSL	ABOVE FINISHED FLOOR	FR.	FRENCH
B.C.	BASE CABINET	FR.	FRENCH
BRG.	BEARING	FTG.	FOOTING
BTHN.	BETWEEN	F.V.	FIELD VERIFY
BM.	BEAM	GL.	GLASS
CAB.	CABINET	H.B.	HOSE BIBB
CAR.	CARPET	HGT.	HEIGHT
CATH.	CATHEDRAL	HD.	HEADER
CJ	CEILING JOIST	HVAC	HEATS, VENTILATION & A/C UNIT
CLG.	CEILING	JST.	JOIST
CLO.	CLOSET	K.D.A.T.	KILZ DRIED AFTER TREATMENT
CMU	CONCRETE MASONRY UNIT	KN	KNEE WALL
C.O.	CASED OPENING	LAUN.	LAUNDRY
CONC.	CONCRETE	L.V.	LAMINATED VENEER LUMBER
CT.	CERAMIC TILE	L.V.	LAMINATED VENEER LUMBER
CTR.	COUNTER	L.V.	LAMINATED VENEER LUMBER
D	DRYER	L.V.	LAMINATED VENEER LUMBER
DBL	DOUBLE JOIST	LONG.	LONG
DJ	DOUBLE JOIST	MAX.	MAXIMUM
DN.	DOWN	MANUF.	MANUFACTURER
DW	DISHWASHER	MBL	MARBLE
EA.	EACH	MD. CAB.	MED. CAB.
EXT.	EXTERIOR	MSL	MEAN SEA LEVEL
EXIST.	EXISTING	MECH.	MECHANICAL
		MC	MEDICINE CABINET
		MICRO	MICROWAVE OVEN
		MIN.	MINIMUM
		MIR.	MIRROR
		N.T.S.	NOT TO SCALE
		OC.	ON CENTER
		OVH.	OVERHANG
		OV.	OVENS
		PAN. or PANT.	PANTRY
		P.C.	PULL CORD
		PK.	POCKET
		PL.	PLATE
		PLYWD.	PLYWOOD
		PSF	POUNDS PER SQUARE FOOT
		P.T.	PRESSURE TREATED
		R/A	RETURN AIR
		R&S	ROD AND SHELF
		REF. or REFRG.	REFRIGERATOR
		RENF.	REINFORCING
		R.M.	ROOM
		R.O.	ROUGH OPENING
		REQ'D.	REQUIRED
		R.M.	ROOM
		S. or SLP.	SLOPE
		SH.	SHELF
		SH.S.	SHELVES / SHELVING
		SH.S.	SHELVES / SHELVING
		SHW. or SHOW.	SHOWER
		S.L.	SIDE LITE
		SPECS.	SPECIFICATIONS
		SYP.	SOUTHERN YELLOW PINE SQUARE
		T	TONGUE & GROOVE
		TRANS.	TRANSOM
		TPO	TOILET PAPER DISPENSER
		TB	TOWEL BAR
		TR	TOWEL RING
		TR	TOWEL RING
		TYP.	TYPICAL
		U.N.O.	UNLESS NOTED OTHERWISE
		V	VINYL
		V	VERTICAL
		W	WASHER
		W	WITH
		W.C.	WATER CLOSET (TOILET) OR WALL CABINET
		W	WOOD
		W.C.	WALK IN CLOSET
		W.H.	WATER HEATER
		W.M.	WELDED WIRE MESH
		W.F.	WELDED WIRE FABRIC
		Y.P.	YELLOW PINE

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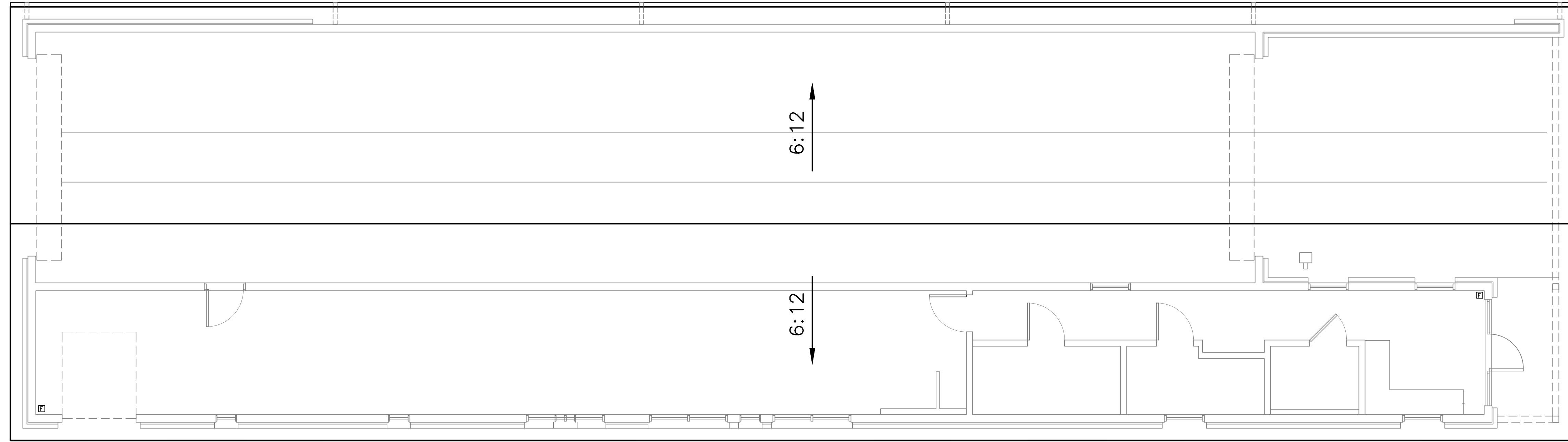
DATE: February 17, 2022
 JOB NO.:
 SCALE: as shown

1620 WASHINGTON ROAD
 THOMSON, GEORGIA
 ROBERT ALAN WILSON
 THOMSON LAND, LLC
 SPARTANBURG, SC 29316

REGISTERED PROFESSIONAL ENGINEER
 No. 28372
 2-17-22
 MARK A. BOSWELL

CONTACT A MINIMUM OF 72 HOURS PRIOR TO ISSUING
 UTILITIES PROTECTION CENTER
 1-800-282-7411

DRAWING NUMBER
A-1
 2 OF 20 SHEETS



ROOF PLAN

SCALE: 3/16" = 1'-0"

LIFE SAFETY DATA

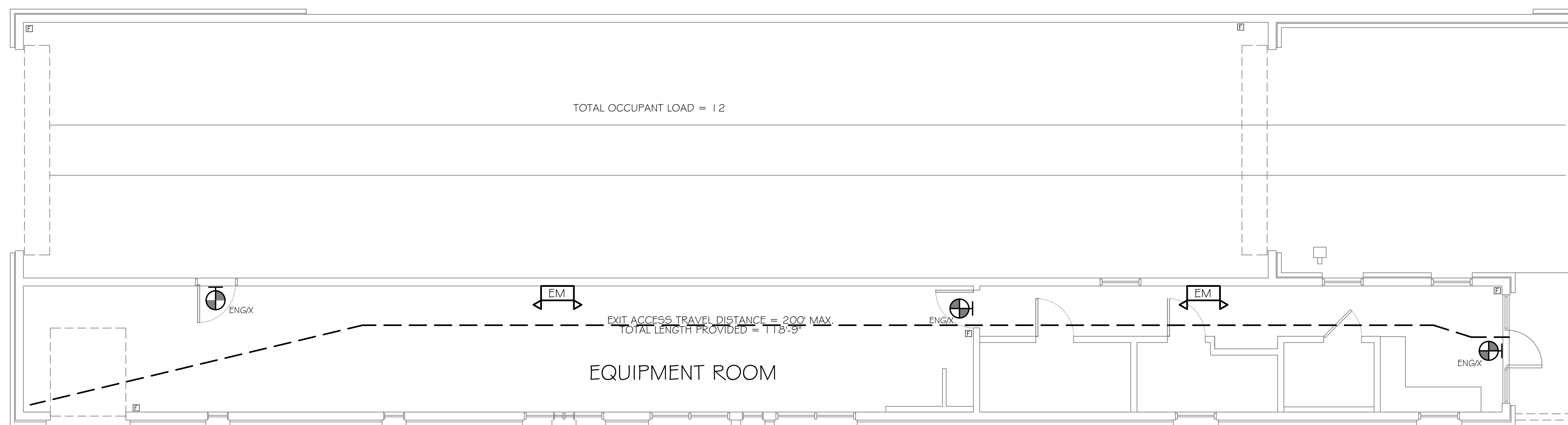
APPLICABLE CODES: IBC 2018, NFPA 101 2018
 OCCUPANCY CLASSIFICATION: GROUP B
 OCCUPANCY LOAD: 100 GROSS PER PERSON - OFFICE
 500 GROSS PER PERSON - TUNNEL
 500 GROSS PER PERSON - STORAGE
 ACCESSIBLE MEANS OF EGRESS: 1 REQUIRED - 1 PROVIDED
 DEAD END CORRIDOR: 20 FT. MAX
 COMMON PATH OF EGRESS TRAVEL: 100 FT. MAX
 EXIT ACCESS TRAVEL DISTANCE: 200 FT. MAX

Legend

- · - · - COMMON PATH OF EGRESS TRAVEL
- - - - - DEAD-END CORRIDOR
- - - - - EXIT ACCESS TRAVEL DISTANCE
- ☐ PORTABLE FIRE EXTINGUISHERS
- EM EMERGENCY LIGHTS
- ENG/EXIT EMERGENCY/EXIT LIGHT COMBO
- ENG EXIT LIGHT

NOTES:

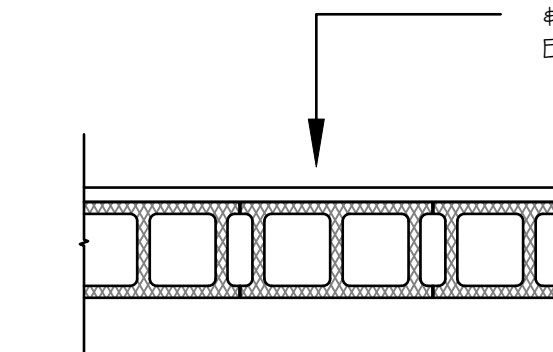
- ALL SIGNAGE SHALL BE IN ACCORDANCE WITH IBC 2018 SECTION 1110. REFER TO PLAN FOR GENERAL LOCATIONS
- SEE ELECTRICAL FLOOR PLAN(S) FOR ALL SIGNAGE AND ALARM ELECTRICAL IMPROVEMENTS AND SYMBOL LEGEND.
- PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED AS PER 2018 IFC SECTION 906.9, TABLE 906.3(1) AND 906.3(2)



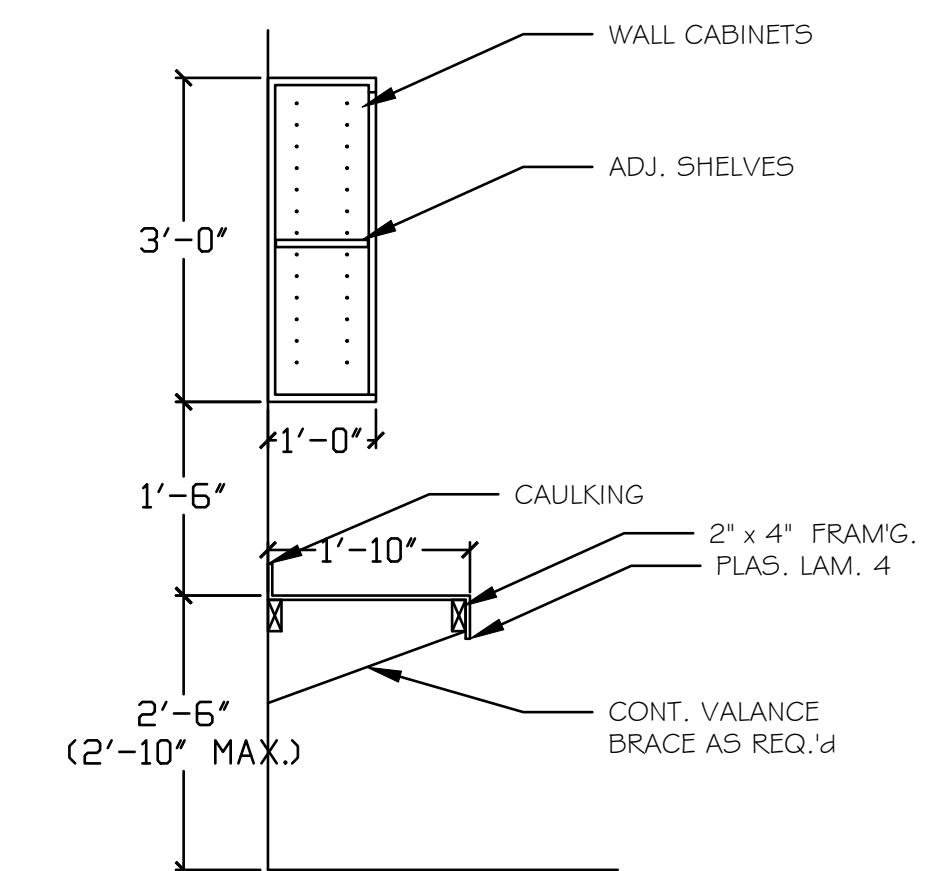
LIFE SAFETY PLAN

3/16" = 1'-0"

8" POURED IN PLACE CONC. OR 8" CMU
 2-HOUR WALL PER UL#906 BLOCKFILLED
 & PAINTED W/STUCCO FINISH ON
 EXTERIOR AS PER OWNER SPEC.



2 - HOUR RATED WALL DETAIL - UL - 906
 SCALE: 3/4" = 1'-0"



TYPICAL WORK COUNTER SECTION
 SCALE: 3/4" = 1'-0"

NOTE: PLASTIC LAMINATE ON ALL EXPOSED SURFACES.

NOTE:

ALL CUSTOM CONSTRUCTION SHALL BE AS SPECIFIED BY OWNER.

ALL EXTERIOR SURFACES SHALL BE SELECTED BY THE OWNER. ALL EXPOSED INT. SURFACES AND CABINET DOORS SHALL BE MELAMINE OR AS PER OWNER.

PLAS. LAMINATE COLORS SHALL BE CHOSEN FROM MANUF. STANDARDS. EXTENT AND LOCATION OF DIFFERENT COLORS SHALL BE INDICATED ON SHOP DRAWINGS.

NO.	REVISIONS

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DESIGNED	DATE: February 17, 2022	JOB NO.	SCALE: as shown
DRAWN			
CHECKED			

STATE OF GEORGIA
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 THOMSON LAND, LLC
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 SPARTANBURG, SC 29316

ELEVATIONS

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GEORGIA REGISTERED PROFESSIONAL ENGINEER
 No. 28372
 2-17-22
 MARK A. BOSWELL

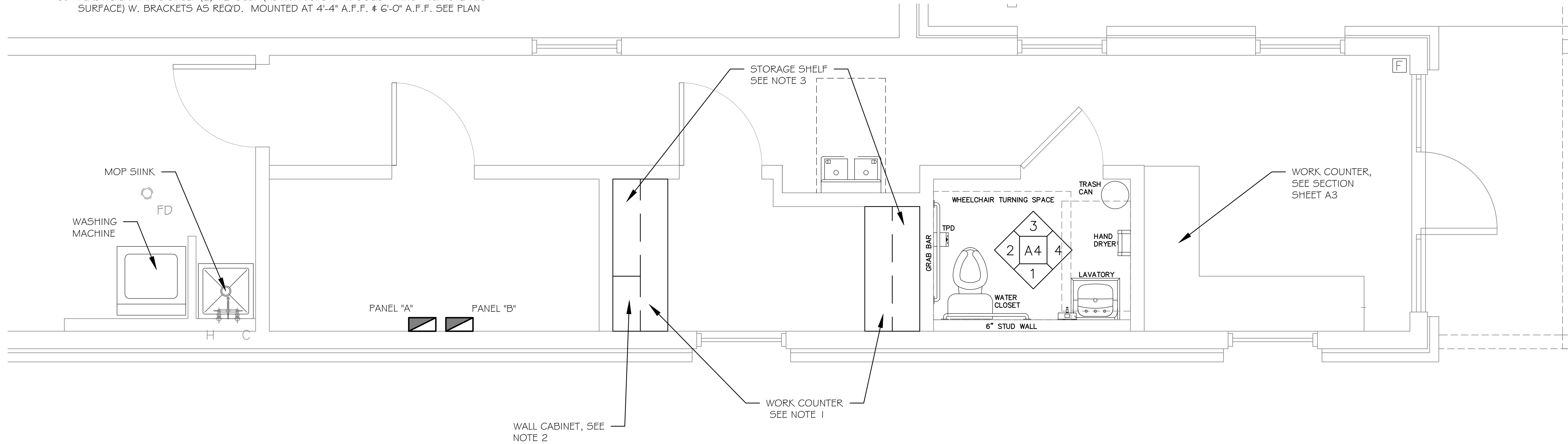
DRAWING NUMBER

Permit Set

A-3

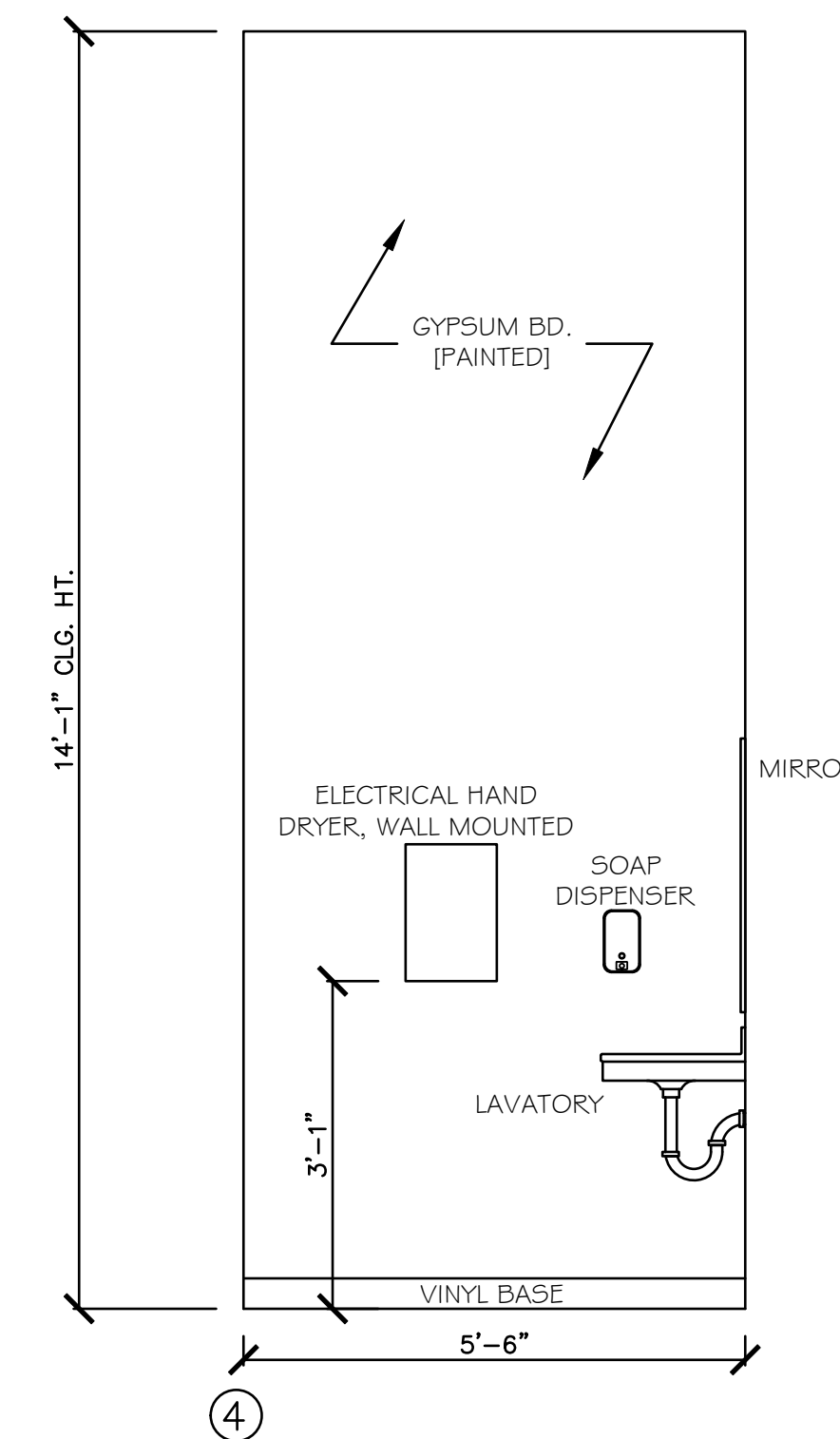
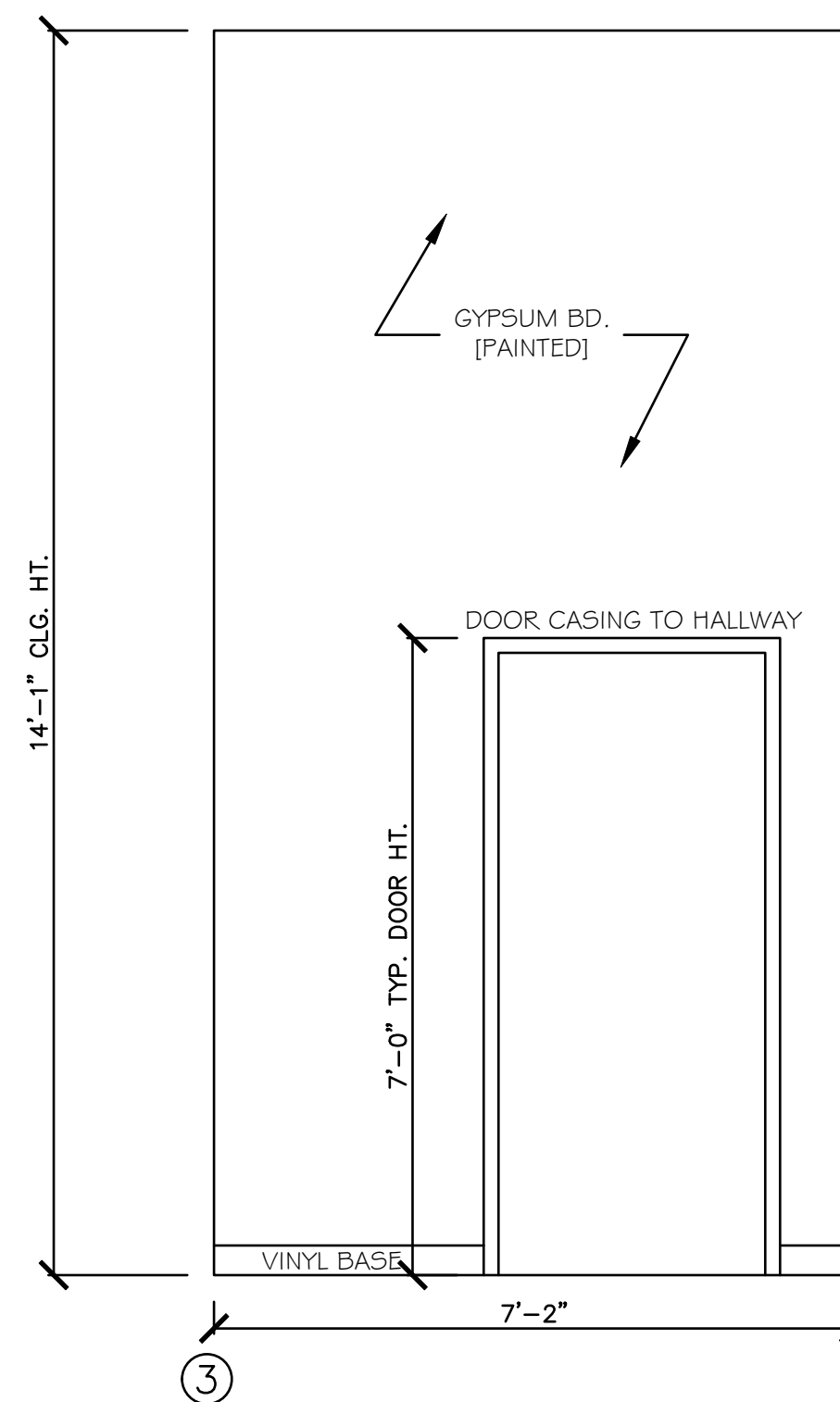
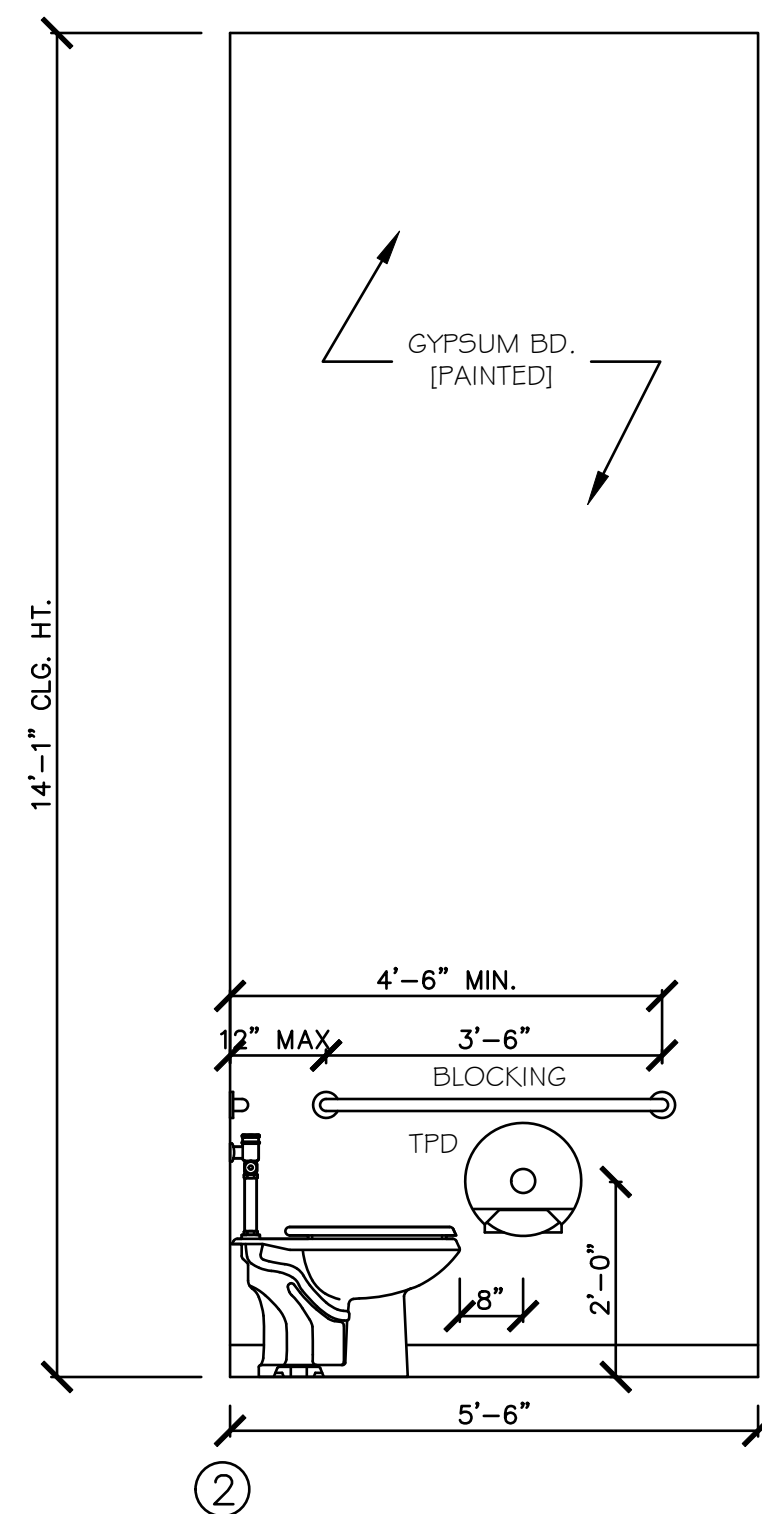
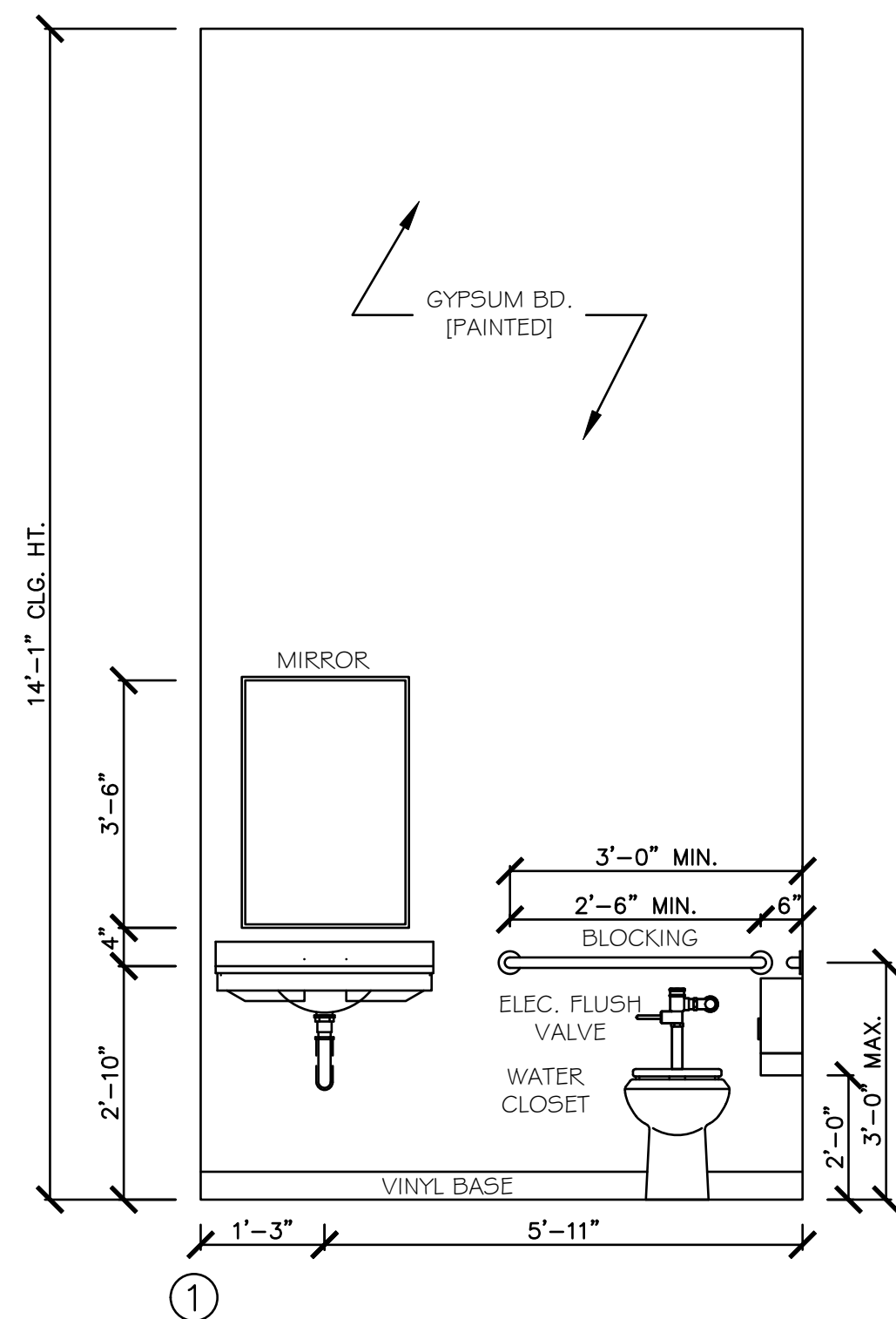
OFFICE PLAN NOTES (OR AS PER OWNER)

- 24" DEEP x SEE PLAN (VERIFY WITH OWNER) WORK COUNTER - PLASTIC LAMINATE (NEVAMAR #5-7-4T SOLID WHITE - TEXTURE ARP SURFACE) ON 1/2" EXT. GRADE PLYWOOD W/ 1/2" PLASTIC LAMINATE NOSING. MOUNT ON WALL WITH BRACKETS AS REQUIRED AT 30" A.F.F. SEE ELEV. THIS SHEET.
- (1) 2 DOOR CABINET PLASTIC LAMINATED (NEVAMAR #5-7-4T SOLID WHITE - TEXTURE ARP SURFACE) ON PLYWOOD W/ WIRE PULLS & EURO TYPE HINGES W/ (1) MID SHELF. CABINET TO BE 2'-0" WIDE x 12" DEEP x 36" HIGH WALL MOUNTED AT 18" ABOVE COUNTER.
- PLASTIC LAMINATE SHELF (2) 12" DEEP (NEVAMAR #5-7-4t SOLID WHITE - TEXTURE ARP SURFACE) W. BRACKETS AS REQD. MOUNTED AT 4'-4" A.F.F. & 6'-0" A.F.F. SEE PLAN



ENLARGED RESTROOM AND OFFICE PLAN

SCALE: 1/2" = 1'-0"



RESTROOM ELEVATIONS

1/2" = 1'-0"

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DESIGNED BY	MB	DATE	February 17, 2022	JOB NO.		SCALE	as shown
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STATE OF GEORGIA
 1640 WASHINGTON ROAD
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 ROBERT ALAN WILSON
 THOMSON LAND, LLC
 2000 WASHINGTON ROAD
 SPARTANBURG, SC 29316

ELEVATIONS

CONTACT A MINIMUM OF 72 HOURS PRIOR TO ISSUING

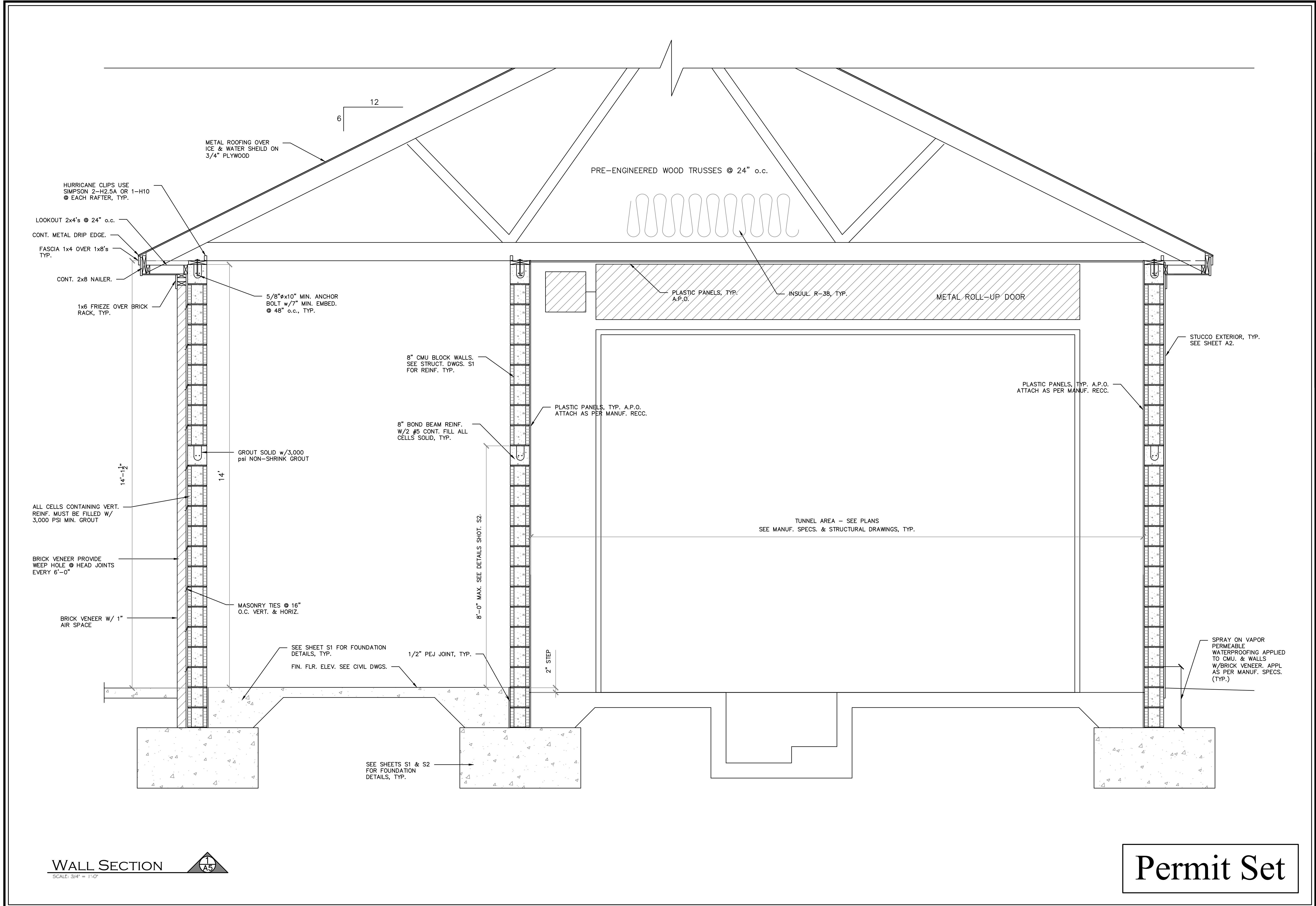
UTILITIES PROTECTION CENTER
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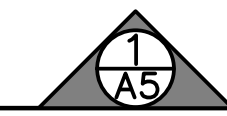
Permit Set

A-4



WALL SECTION

SCALE: 3/4" = 1'-0"



Permit Set

NO.	DESCRIPTION

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SECTION CUTS

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 203 WASHINGTON ROAD
 SPARTANBURG, SC 29316

CONTACT A MINIMUM OF 72 HOURS PRIOR TO DIGGING

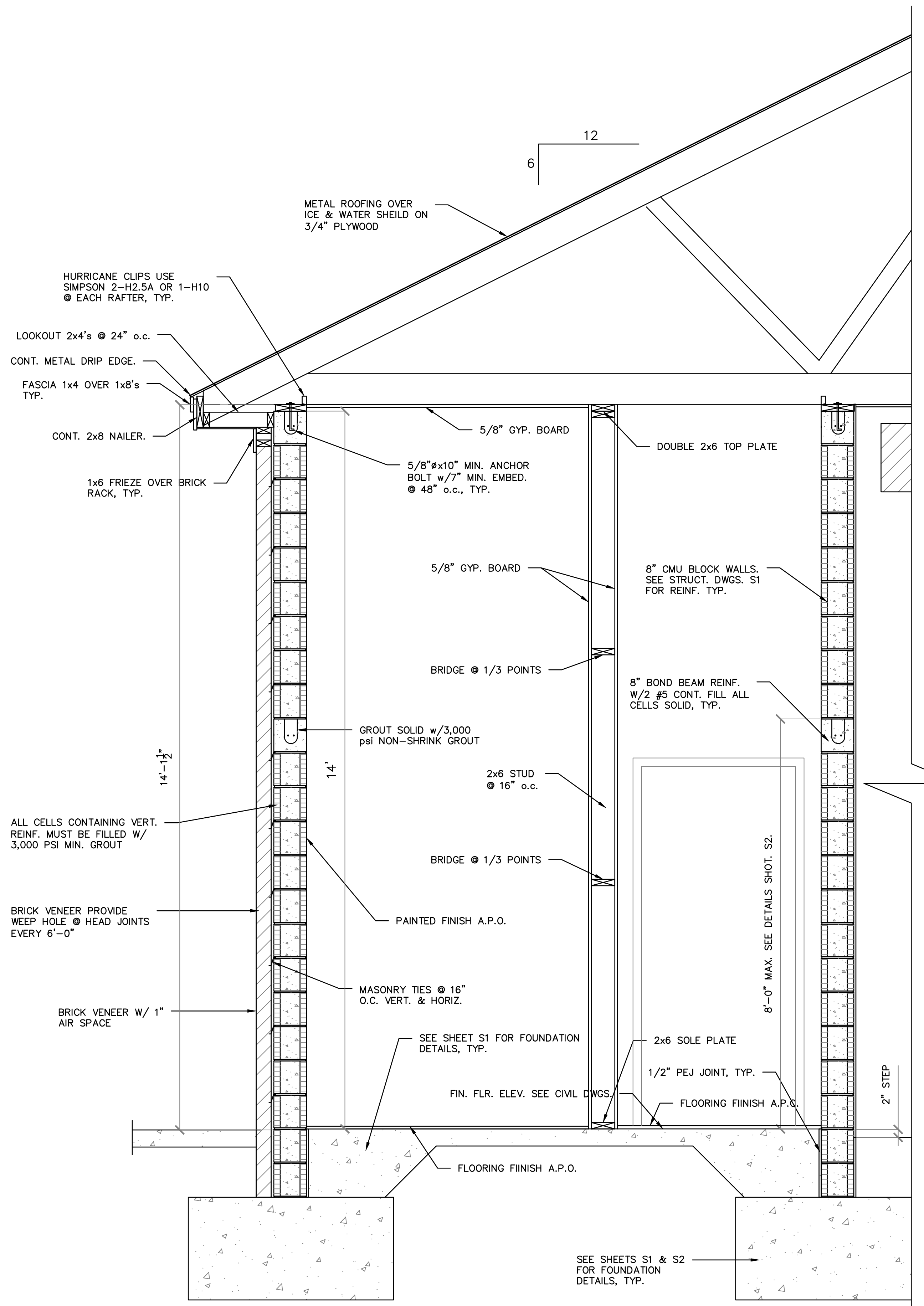
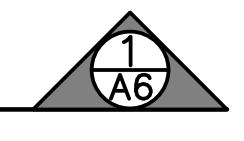
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GEORGIA REGISTERED PROFESSIONAL ENGINEER
 No. 28372
 2-17-22
 MARK A. BOSWELL

DRAWING NUMBER
A-5
 6 OF 20 SHEETS

WALL SECTION

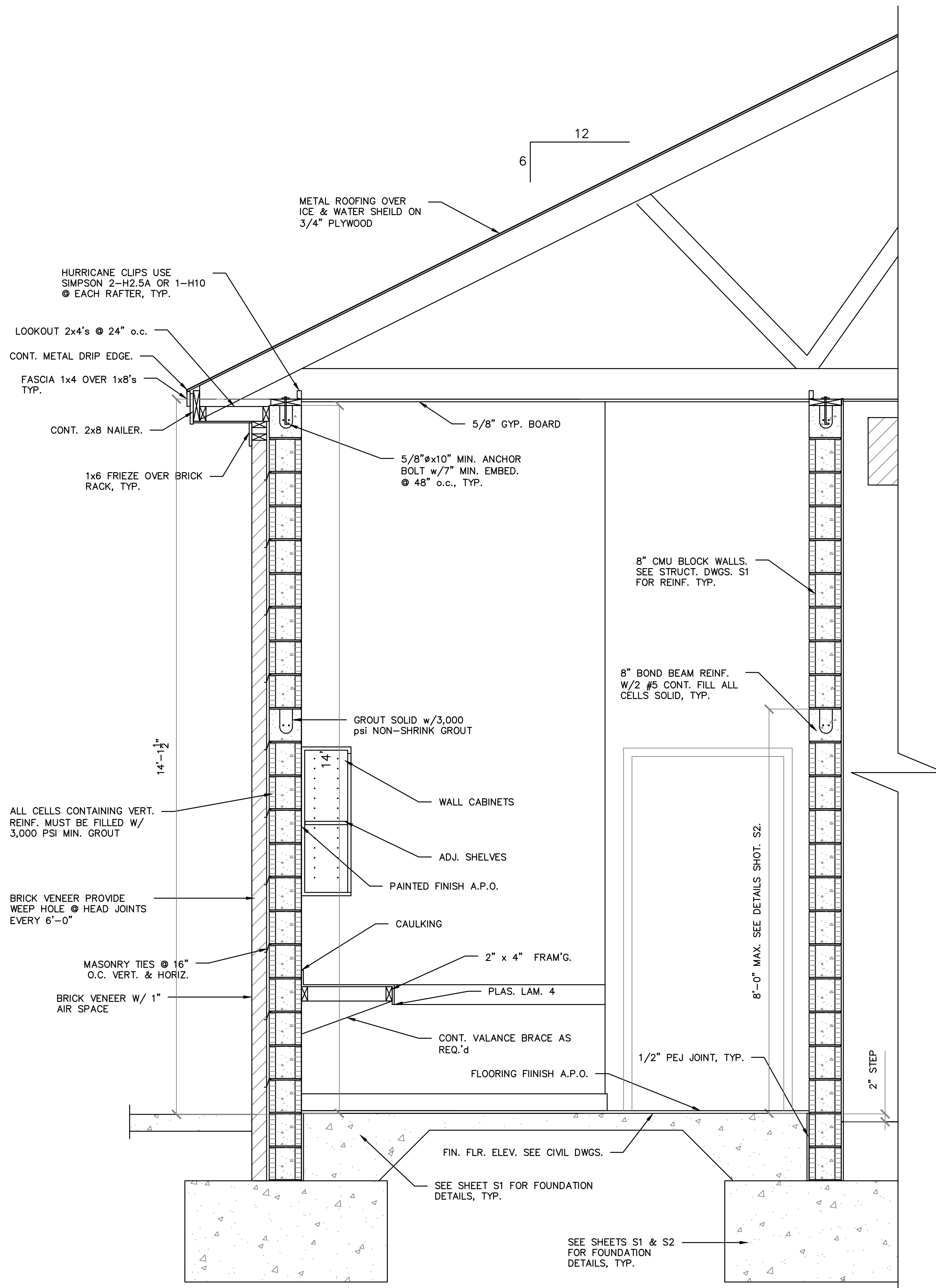
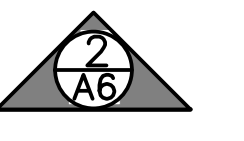
SCALE: 3/4" = 1'-0"



SEE SHEETS S1 & S2 FOR FOUNDATION DETAILS, TYP.

WALL SECTION

SCALE: 3/4" = 1'-0"



SEE SHEETS S1 & S2 FOR FOUNDATION DETAILS, TYP.

Permit Set

NO.	DATE	REVISIONS

BOSWELL DESIGN SERVICES, INC.
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DESIGNED BY	DATE	SCALE
MB	February 17, 2022	as shown
CHECKED BY		
MS		

STATE OF GEORGIA
 1620 WASHINGTON ROAD
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 ROBERT ALAN WILSON
 THOMSON LAND, LLC
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SECTION CUTS

CONTACT A MINIMUM OF 72 HOURS PRIOR TO DIGGING

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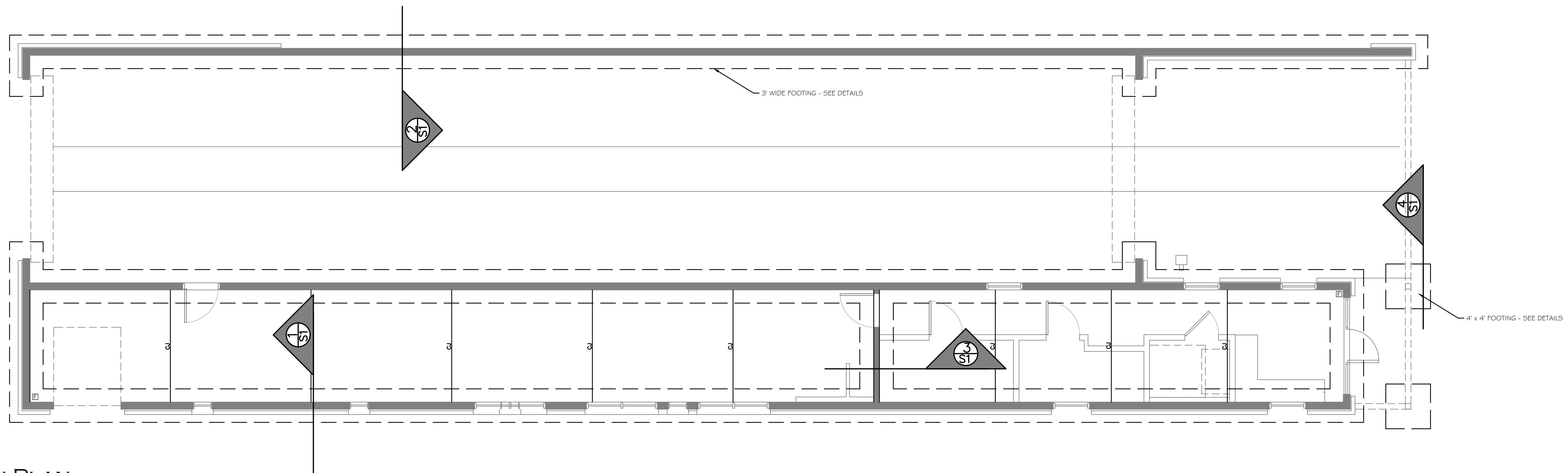
GEORGIA REGISTERED PROFESSIONAL ENGINEER
 No. 28372
 2-17-22

 MARK A. BOSWELL

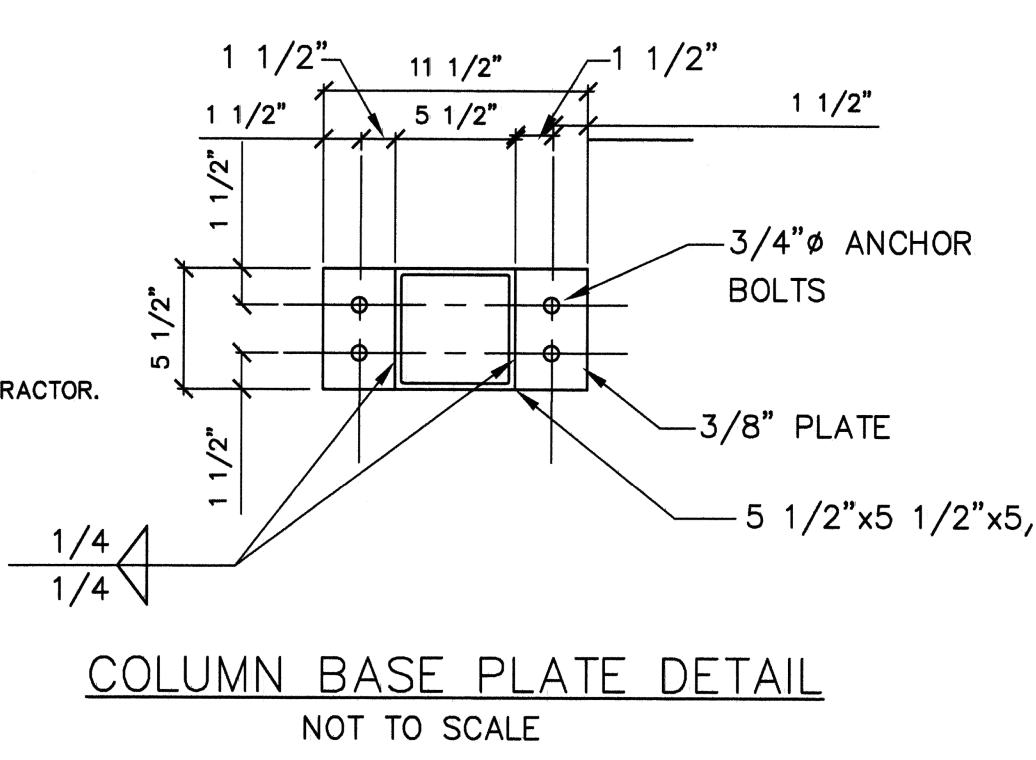
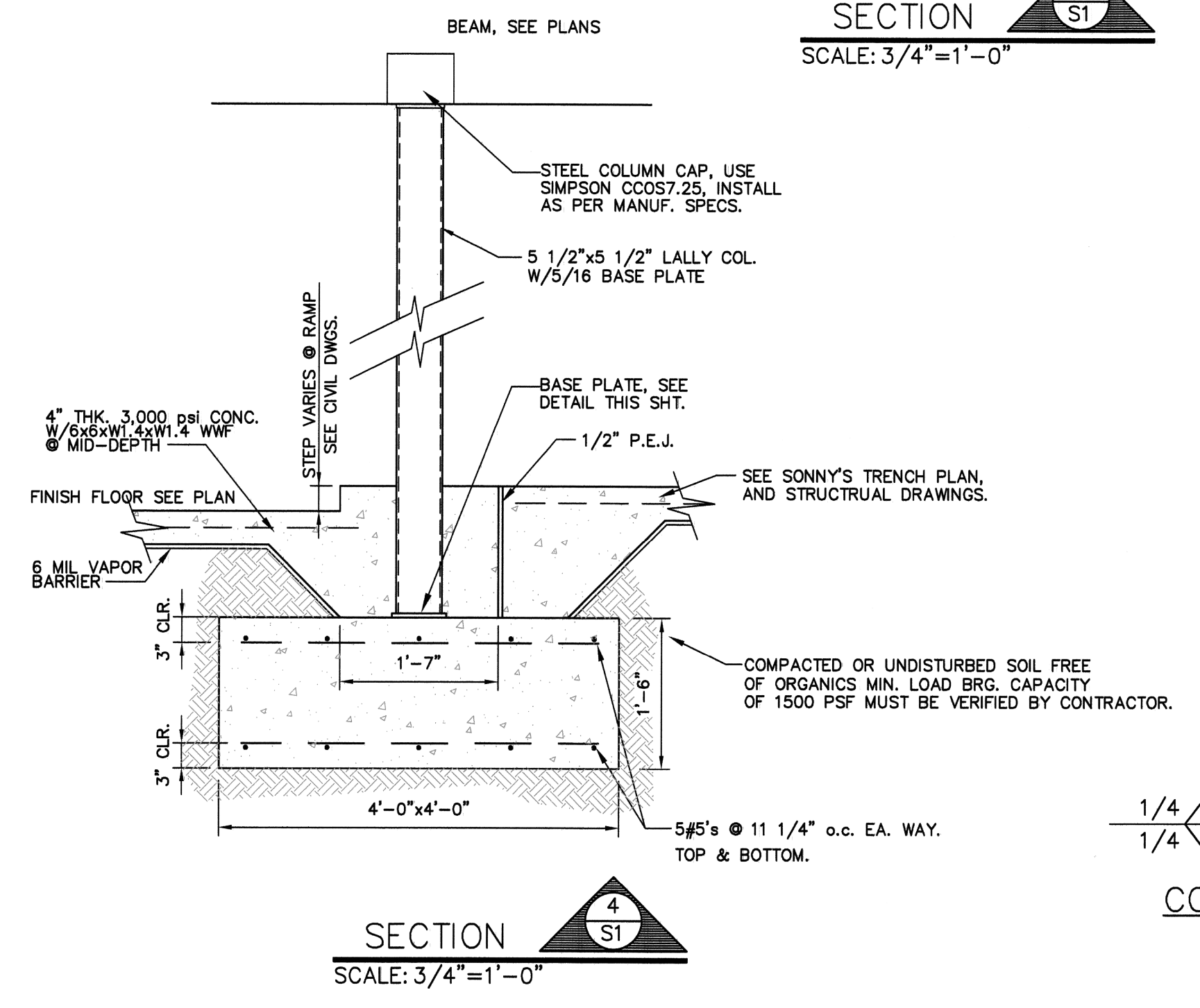
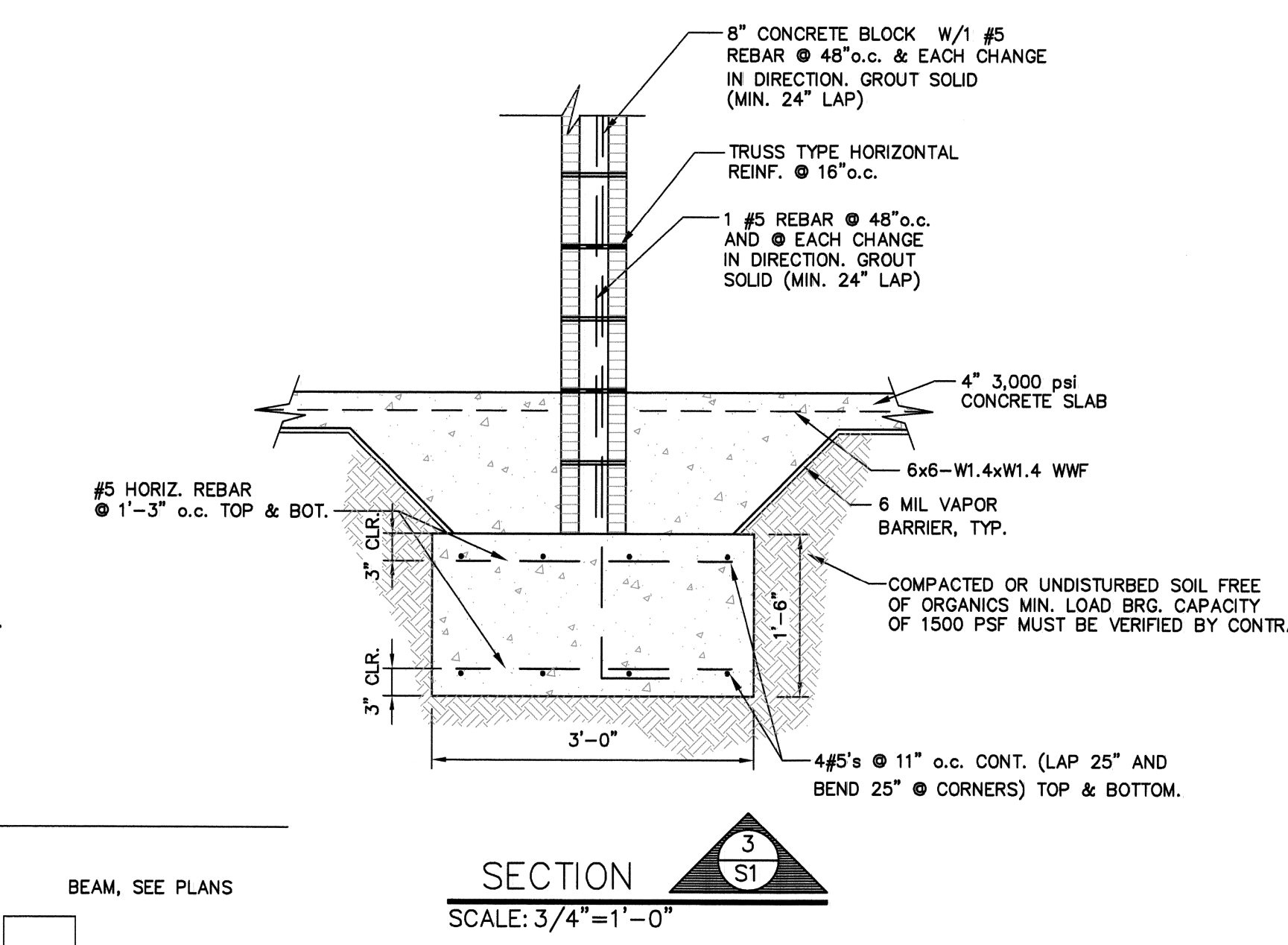
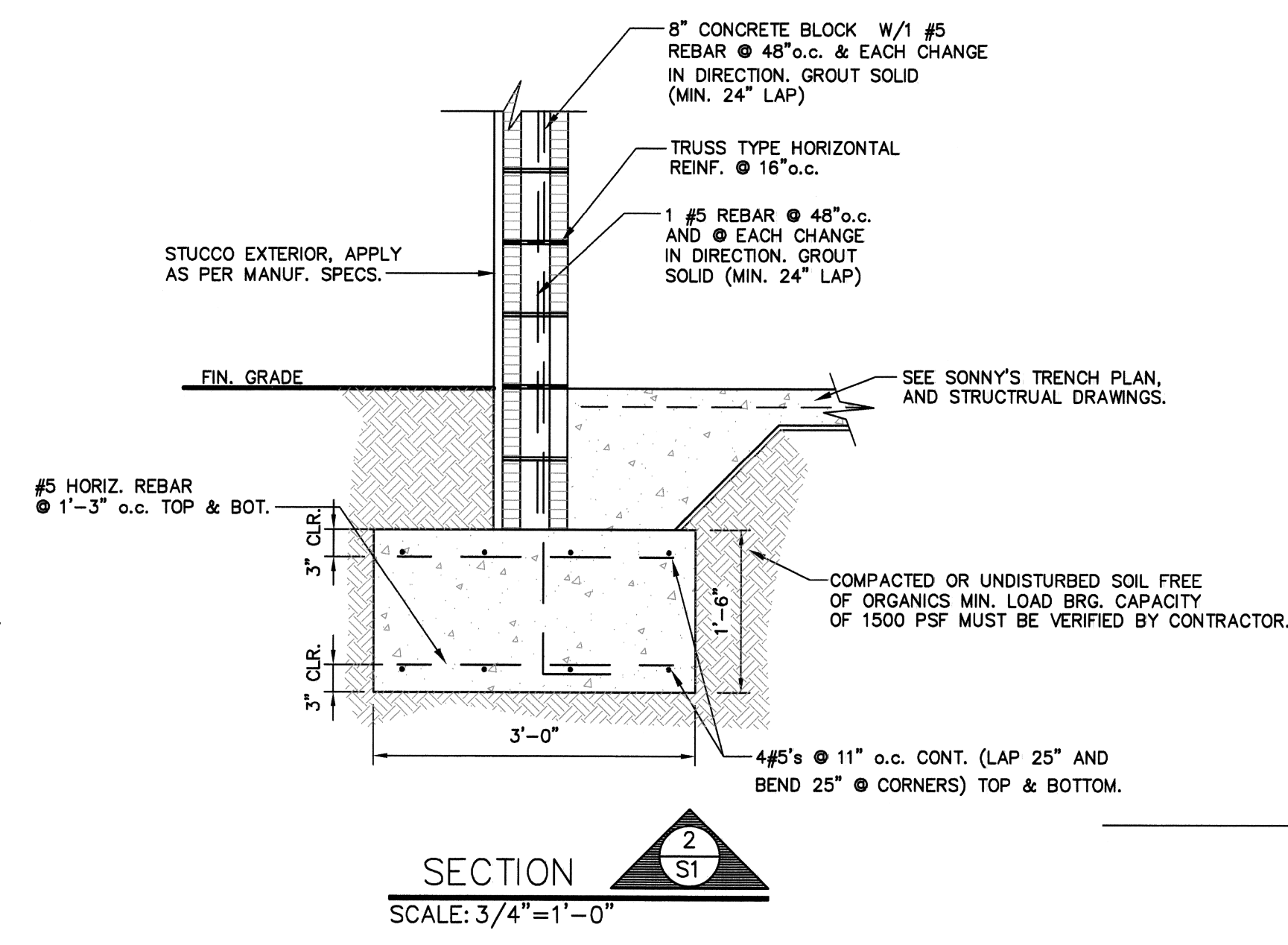
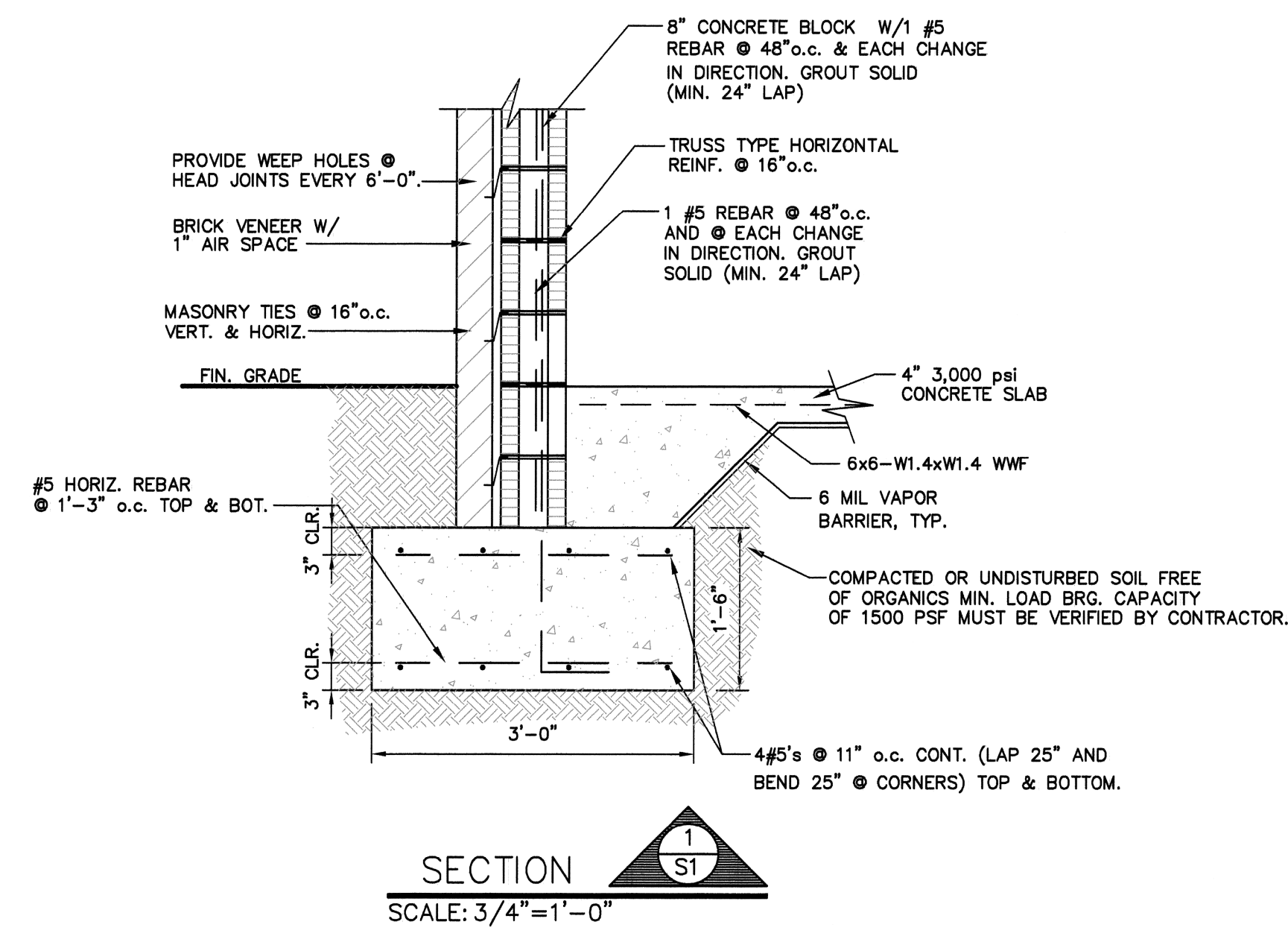
DRAWING NUMBER

A-6

7 OF 20 SHEETS



FOUNDATION PLAN
SCALE: 3/16" = 1'-0"



Permit Set

- FOUNDATION NOTES:
1. CONCRETE SHALL DEVELOP 3000 PSI AT 28 DAYS. FLY ASH IS NOT ALLOWED IN THE CONCRETE MIX.
 2. COMPACTION REQUIREMENTS: (STD. PROCTOR) UNDER FOOTING: 98%, UNDER SLAB: 97%.
 3. SOIL BEARING VALUE: 2000 PSF
 4. REINFORCEMENT SHALL CONFORM TO ASTM A 615, GR 60.
 5. LAP CONTINUOUS BARS AT 30 BAR DIAMETERS. WHERE REQUIRED PROVIDE CORNER BARS AT CORNERS.
 6. MINIMUM CONCRETE PROTECTION OF REINFORCING STEEL, UNLESS OTHERWISE NOTES:
FOOTINGS (BOTTOM AND SIDES).....3" CLEAR
PIERS OR COLUMNS BELOW GRADE.....3" CLEAR
PIERS OR COLUMNS ABOVE GRADE.....1 1/2" CLEAR
 7. CONCRETE SLAB ON GRADE MINIMUM REINFORCEMENT TO BE 6 X 6 10/10 WWF OR FIBERMESH. FIBER MANUFACTURERS MUST DOCUMENT EVIDENCE PER CUBIC YARD. FIBER MANUFACTURERS MUST DOCUMENT EVIDENCE OF FIVE YEARS SATISFACTORY PERFORMANCE HISTORY. COMPLIANCE WITH APPLICABLE BUILDING CODES AND ASTM C-1116, TYPE III.
 8. VERIFY FINISH FLOOR ELEVATION.
 9. BOTTOM OF ALL FOOTINGS SHALL BE 12 INCHES MINIMUM BELOW FINISH GRADE.
 10. STEP FOOTINGS BELOW THE PLUMBING LINES. COORDINATE LINE DEPTH AND LOCATION WITH THE PLUMBING CONTRACTOR.
 11. ALL CONCRETE WORK SHALL CONFORM TO A.C.I. 301 REQUIREMENTS.

NO.	DESCRIPTION	DATE

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1640 WASHINGTON ROAD
THOMSON, GEORGIA
ROBERT ALAN WILSON
THOMSON LAND, LLC
28 SPARTANBURG, SC 29316

UTILITIES PROTECTION CENTER
1-800-282-7411

GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. 28372
2-17-22
MARK A. BOSWELL

DRAWING NUMBER
S-1
8 OF 20 SHEETS

REINFORCED CONCRETE NOTES:

- STRUCTURAL CONCRETE SHALL CONFORM TO ACI 301. CONCRETE SHALL HAVE 3,000 PSI (min.) COMPRESSIVE STRENGTH IN 28 DAYS.
- AGGREGATES SHALL BE CLEAN AND WELL-GRADED MAXIMUM SIZE 3/4". CONCRETE COMPRESSIVE TESTS SHALL CONFORM TO ASTM C39.
- USE REG. WT. CONCRETE FOR ALL STRUCTURAL MEMBERS (140 PCF MIN.).
- USE ASTM A-615 GR 60 FOR ALL REINF. STEEL LAP CONT REINF 30 BAR DIA IN BEAMS AND 36 BAR DIA IN SLABS. LAP BOTTOM STEEL OVER SUPPORT AND TOP STEEL MIDSPAN UNLESS OTHERWISE SPECIFIED. HOOK DISCONTINUOUS ENDS OF ALL TOP BARS. USE 1" COVER OVER REINFORCING EXCEPT AS FOLLOWS:

	BOTTOM	TOP	SIDES
FOOTINGS	3"	2"	3"
COLUMNS (AND PIERS)	---	---	1 1/2"
SLABS ON GROUND	1 1/2"	1"	---
SLABS (OTHER THAN ON GROUND)	3/4"	3/4"	---
POURED WALLS RETAINING FILL	---	---	2"
POURED WALLS ABOVE GROUND	---	---	1"
- CONCRETE TESTING SHALL BE PERFORMED IF REQUIRED BY THE OWNER AND SHALL FOLLOW PROJECT SPECIFICATIONS. IN THE ABSENCE OF SPECIFICATIONS, TAKE ONE SET OF 5 CYLINDERS FOR EVERY FIFTY CUBIC YARDS OF CONCRETE AND ONE SET FOR ALL POURS LESS THEN FIFTY CUBIC YARDS (PER ASTM STANDARDS). EVALUATION OF TEST RESULTS SHALL BE PER ACI 301.
- NO CONCRETE TEST SHOULD BE ACCEPTED IF CONCRETE IS TAMPERED WITH IN ANY WAY AFTER SAID TEST IS PERFORMED.
- ALL REINFORCEMENT SHALL BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND FIRMLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 301 AND ACI 318.
- MAXIMUM PERMISSIBLE SLUMP - 3" UNLESS NOTED OTHERWISE.
- ALL REINFORCING SHOWN TO BE HOOKED SHALL HAVE STANDARD HOOKS UNLESS SHOWN OTHERWISE.
- VERIFY ALL COLUMN AND ANCHOR BOLT LOCATIONS WITH METAL BUILDING MANUFACTURER.
- CONCRETE FLOOR SURFACES SHALL HAVE A "NON SLIP" FINISH.

GENERAL NOTES:

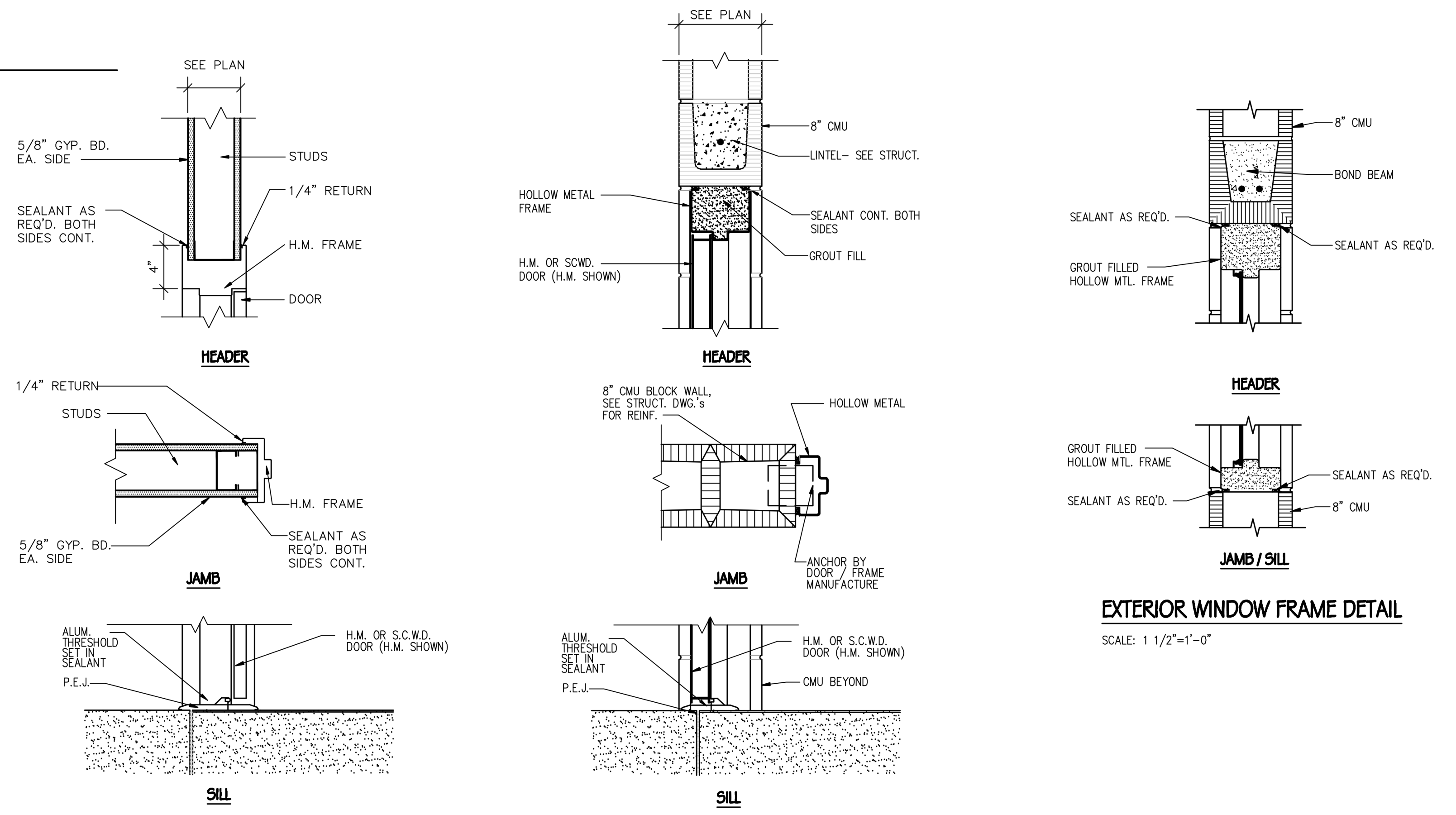
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE MOST RECENT LOCAL, STATE AND FEDERAL CODES.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCING OF CONSTRUCTION AND FOR AVOIDING CONFLICT WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH IBC 2006, OSHA CODES, ACI AND AISC.

SUBGRADE NOTES :

- All areas under slab shall be stripped of all vegetation, roots and top soil.
- If dewatering is necessary, the method shall be approved by a licensed geotechnical engineer.
- Compaction shall be in accordance with ASTM D-1557.
- Fill shall be placed in 6" lifts and compacted to 95% density as per ASTM D-1557.
- The design soil pressure is 1,500 psf. If subgrade fails to meet the design soil pressure, corrective measures shall be taken prior to construction.

NOTES FOR PRE-ENGINEERED STEEL BUILDING

- DESIGN CRITERIA:
 - LOADS: ROOF LIVE LOAD : 20 PSF
 - WIND LOAD : BASIC WIND SPEED : 130 MPH
 - EXPOSURE B, I = 1.00
 - LIGHTING : (HANGING ON PURLINS) SEE ELEC. PLANS
- CODES AND SPECIFICATIONS:
 - A. ASCE MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES
 - B. STANDARD BUILDING CODE
 - C. AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDING
 - D. MBMA METAL BUILDING SYSTEMS MANUAL
 - E. AISI SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS
 - F. AWS STRUCTURAL WELDING CODE
 - G. ALL RELATED ASTM SPECIFICATIONS
- OTHER BUILDING DESIGN CONDITIONS:
 - A. THE BUILDING MANUFACTURER IS WHOLLY RESPONSIBLE FOR THE DESIGN AND FABRICATION OF THE GUTTER SYSTEM. THE BUILDING MANUFACTURER SHALL DESIGN AND WARRANTY THE GUTTER SYSTEM.
 - B. LIGHTING MATERIALS AND PARTS WILL BE FURNISHED BY OTHERS. THE BUILDING MANUFACTURER SHALL DESIGN AND FURNISH THE ROOF PURLINS TO SUPPORT LIGHTING, COMPRESSORS AND ANY OTHER COMPONENTS ACCESSORIES OR MACHINERY TO BE ATTACHED TO BUILDING OR ROOF SUPPORTED.
 - C. THE BUILDING MANUFACTURER SHALL DESIGN AND FURNISH ALL EXTERIOR DOORS AND WINDOWS.
- SUBMITTAL:
 - THE PRE-ENGINEERED BUILDING SHALL BE DESIGNED OR SUPERVISED BY A STATE OF GEORGIA REGISTERED PROFESSIONAL ENGINEER. ALL CALCULATIONS AND DRAWINGS SHALL BEAR HIS SEAL WITH SIGNATURE.



INTERIOR DOOR FRAME

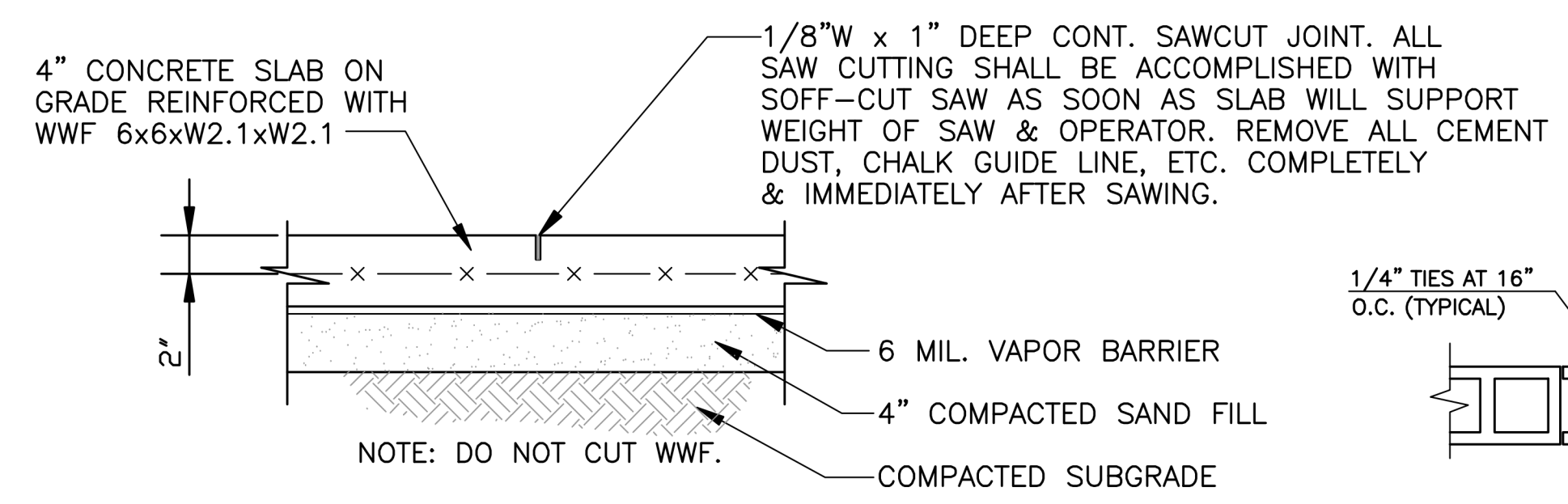
SCALE: 1 1/2"=1'-0"

EXTERIOR DOOR FRAME DETAIL

SCALE: 1 1/2"=1'-0"

EXTERIOR WINDOW FRAME DETAIL

SCALE: 1 1/2"=1'-0"

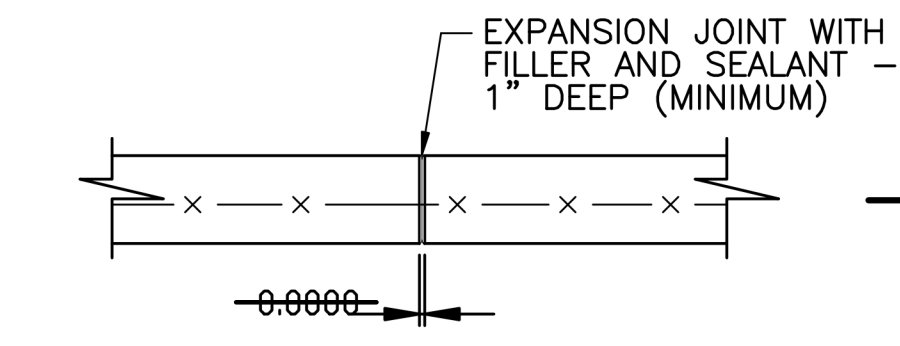


SAWED CONTROL JOINT DETAIL (SJ)

SCALE: 1" = 1'-0"

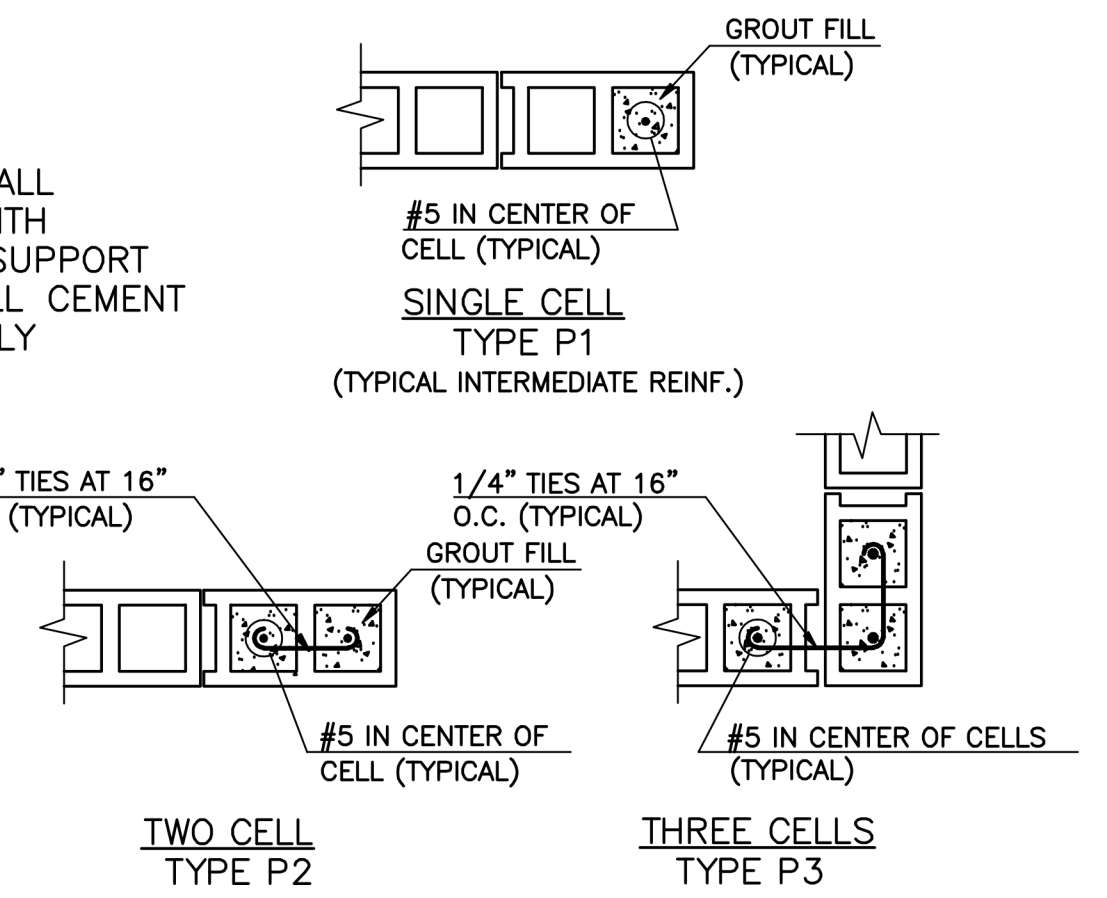
CONSTRUCTION JOINT DETAIL (CJ)

SCALE: 1" = 1'-0"

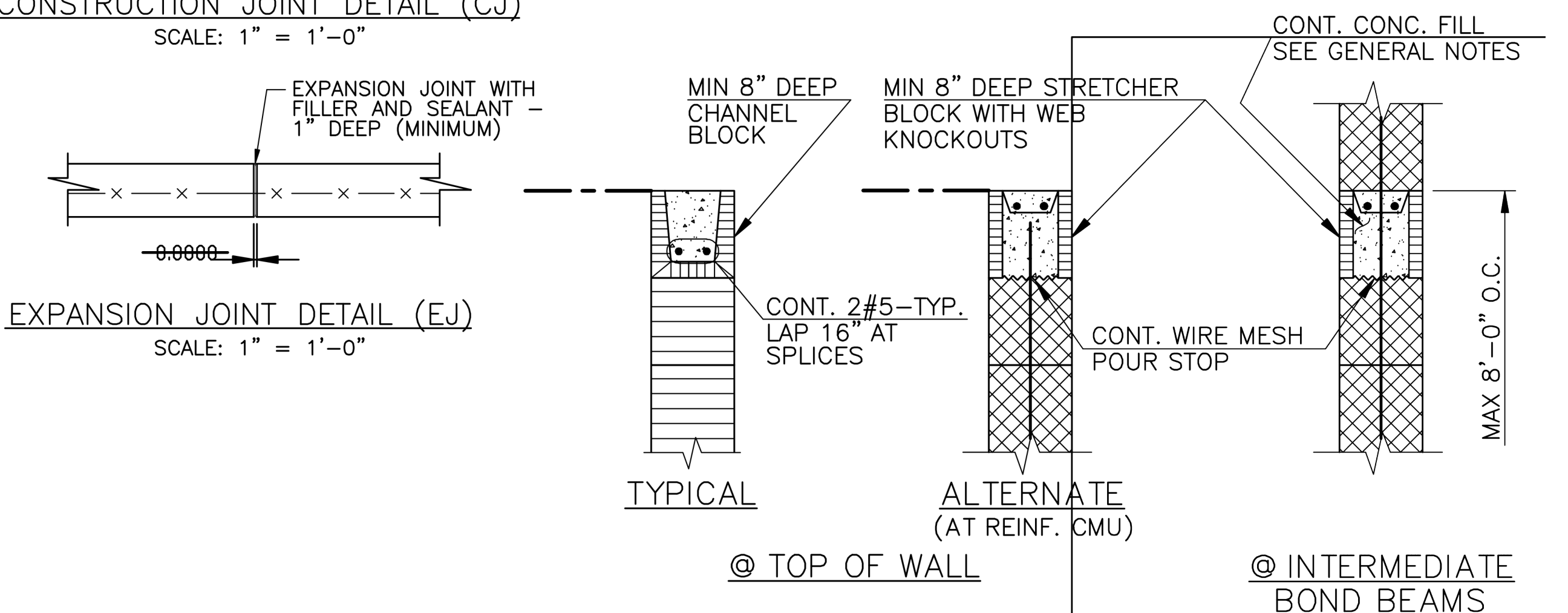


EXPANSION JOINT DETAIL (EJ)

SCALE: 1" = 1'-0"



TYPICAL DETAILS FOR REINFORCED CONCRETE MASONRY PIERS



TYPICAL BOND BEAM DETAILS

Permit Set

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 OFFICE: 4700 EAST HIGHWAY 80
 Unit N, Suite 1
 MAILING: 103 NASSAU DRIVE
 SAVANNAH, GEORGIA 31410
 912-897-6932
 LAHBOS@bellsouth.net

REVISIONS

RECORD
 DRAWN: MBS
 CHECKED: MBS
 DATE: February 17, 2022
 JOB NO. ---
 SCALE: as shown

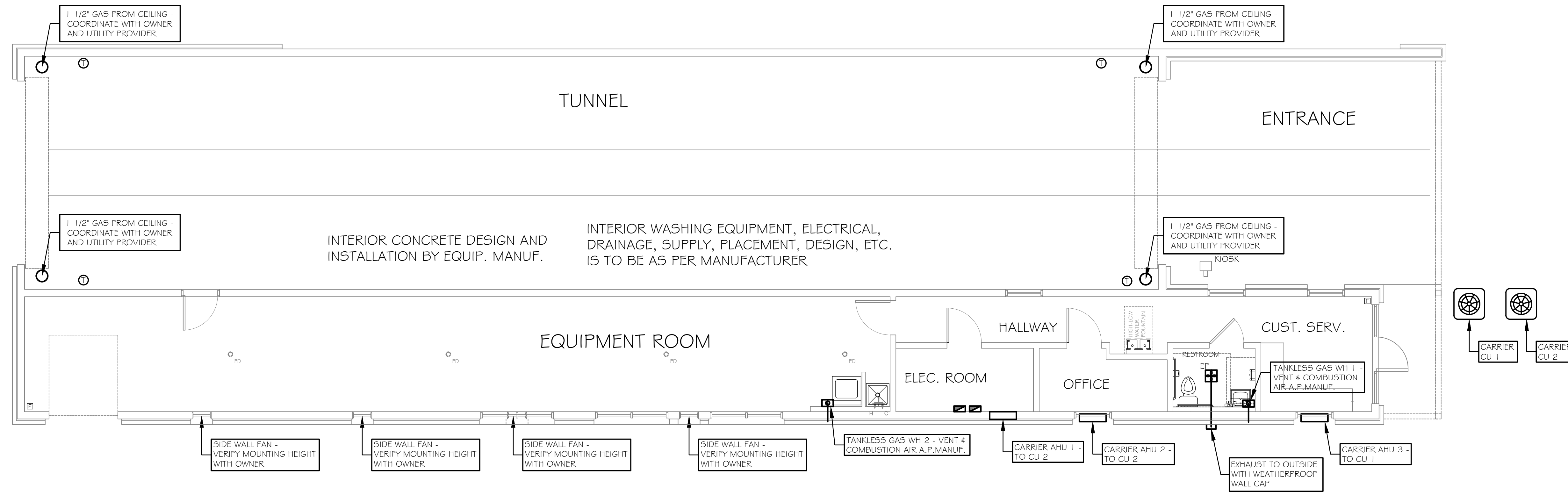
1620 WASHINGTON ROAD
 THOMSON, GEORGIA
 ROBERT ALAN WILSON
 THOMSON LAND, LLC
 207 WASHINGTON ROAD
 SPARTANBURG, SC 29316

CONTACT A MINIMUM OF 72 HOURS PRIOR TO ISSUING

UTILITIES PROTECTION CENTER
 1-800-282-7411

GEORGIA REGISTERED PROFESSIONAL ENGINEER
 No. 28372
 2-17-22
 MARK A. BOSWELL

DRAWING NUMBER
S-2
 9 OF 20 SHEETS



HVAC PLAN
3/16" = 1'-0"

SPECIAL EQUIPMENT NOTES :

1. ALL MODEL NUMBERS OF PROCESS EQUIPMENT, LIGHTS, HVAC EQUIPMENT, FANS, ETC, HAVE BEEN SUPPLIED BY THE OWNER AND/OR THE EQUIPMENT MANUFACTURER.
2. ALL ELECTRICAL LOADS AND CONNECTIONS, WATER SERVICE, WASTE LINES, ETC. HAVE BEEN SUPPLIED BY THE OWNER AND/OR THE EQUIPMENT MANUFACTURER.

FIXTURE AND RECEPTACLE NOTE :

1. MOUNTING HEIGHTS AND LOCATIONS FOR ALL RECEPTACLES, LIGHTING, EQUIPMENT, AND CABINETS TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
2. LIGHT COLOR, WAVE LENGTH, ETC TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
3. ALL LOW VOLTAGE FOR SECURITY, PHONES, CABLE, COMPUTERS, KEYPADS, ETC. ARE TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
4. ALL EQUIPMENT, LIGHTS, CABINETS, PUMPS, ETC. ASSIGNED WITH THE PROJECT WERE SELECTED BY THE OWNER.

NON-CAR WASH EQUIPMENT SCHEDULE

EQUIPMENT	MANUF.	MODEL	ELECTICAL	REMARKS
AHU	CARRIER	40MPHAQ09XA3	31 AMPS EACH	MOUNTING HT. A.P.O.
CU	CARRIER	38MPRAQ09AA3	THROUGH AHU	
SIDEWALL FAN	GREENHECK	SDPE-D-14G-1-DS	6 AMPS EACH	TO HAVE CONTROLLER
HEAT	MARKEL	P3P5507T	9.1 AMPS EACH	WATER RATED
WASHER	A.P.O.	A.P.O.	23 AMPS	
HAND DRYER	A.P.O.	A.P.O.	8 AMPS	
TANKLESS GAS WH 1	RINNAI	V53DeN	1.2 A / 5A CB OR A.P.O.	
TANKLESS GAS WH 2	RINNAI	CU160i	4A / 10 A CB OR A.P.O.	
ROLL UPS	A.P.O.	A.P.O.	750 W EACH	WATER RATED

1. EQUIPMENT MODEL NUMBERS, ETC. HAVE BEEN SELECTED BY OWNER.
2. VERIFY ALL EQUIPMENT MOUNTING HEIGHTS, MODELS, ETC. WITH OWNER.
3. A.P.O. = AS PER OWNER

Permit Set

REVISIONS

BOSWELL DESIGN SERVICES, INC.
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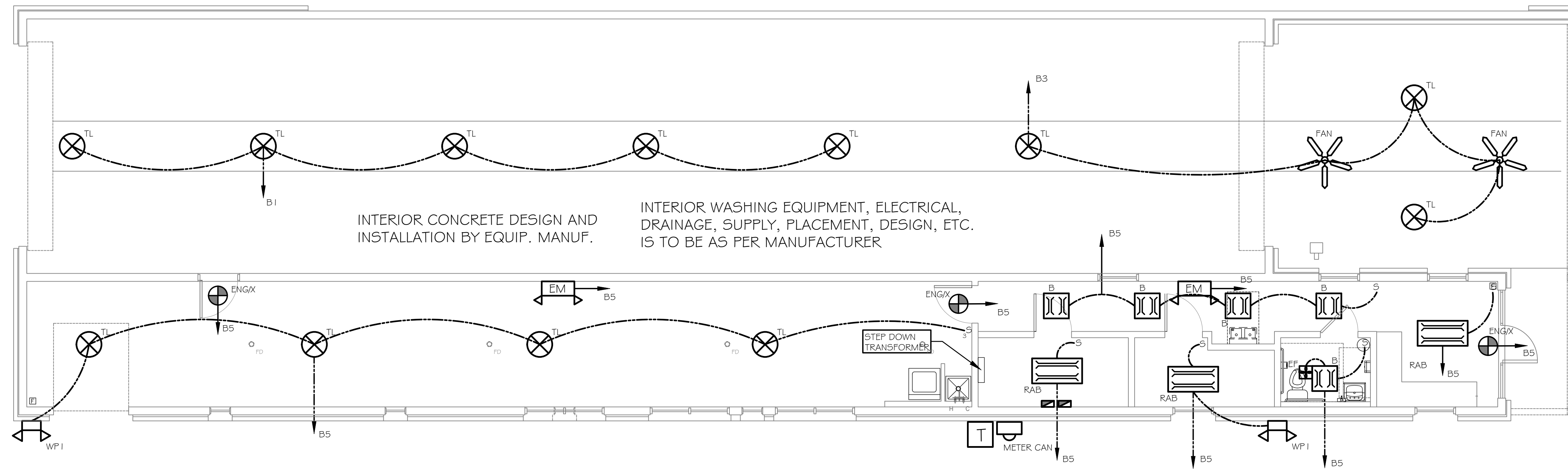
STATE OF GEORGIA
 1620 WASHINGTON ROAD
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HVAC PLAN

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 PRIOR TO DIGGING
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 1-800-282-7411

GEORGIA
 REGISTERED
 PROFESSIONAL
 ENGINEER
 No. 28372
 2-17-22
 MARK A. BOSWELL

DRAWING NUMBER
M-1
 10 OF 20 SHEETS



GENERAL LIGHTING PLAN

3/16" = 1'-0"

Permit Set

SPECIAL SIGN, LIGHT AND WALL PACK NOTE :

1. ALL EXTERIOR LIGHTS TO INCLUDE BUT NOT BE LIMITED TO PYLON SIGN, BUILDING SIGN AND WALL PACKS ARE TO BE EQUIPPED PHOTOCELL TO ACTIVATE LIGHTS IN DARK CONDITIONS.
2. COORDINATE WITH OWNER.

NON-CAR WASH EQUIPMENT SCHEDULE

EQUIPMENT	MANUF.	MODEL	ELECTICAL	REMARKS
AHU	CARRIER	40MPHAQ09XA3	31 AMPS EACH	MOUNTING HT. A.P.O.
CU	CARRIER	38MPRAQ09AA3	THROUGH AHU	
SIDEWALL FAN	GREENHECK	9DPE-D-14G-1-D5	6 AMPS EACH	TO HAVE CONTROLLER.
HEAT	MARKEL	PSP5507T	9.1 AMPS EACH	WATER RATED
WASHER	A.P.O.	A.P.O.	23 AMPS	
HAND DRYER	A.P.O.	A.P.O.	8 AMPS	
TANKLESS GAS WH 1	RINNAI	V53Dn	1.2 A / SA CB OR A.P.O.	
TANKLESS GAS WH 2	RINNAI	CU160	4A / 10 A CB OR A.P.O.	
ROLL UPS	A.P.O.	A.P.O.	750 W EACH	WATER RATED

1. EQUIPMENT MODEL NUMBERS, ETC. HAVE BEEN SELECTED BY OWNER.
2. VERIFY ALL EQUIPMENT MOUNTING HEIGHTS, MODELS, ETC. WITH OWNER.
3. A.P.O. = AS PER OWNER.

SITE LIGHTING NOTES :

1. PARKING AND SITE LIGHTING IS TO BE INSTALLED UTILIZING CUT OFF FIXTURES SO AS TO NOT CAUSE NEW LIGHT TO "SPILL OVER" ONTO ADJACENT PROPERTIES.
2. FINAL LIGHTING PLAN IS TO BE COORDINATED, DESIGNED AND APPROVED BY GEORGIA POWER AND OWNER.
3. SEE CIVIL PLANS FOR CONCEPT PARKING LIGHTING AND PHOTOMETRICS.

SPECIALTY LIGHTING SCHEDULE

SYMBOL	MANUF.	MODEL	ELECTICAL	REMARKS
A	LITHONIA	-----	50 W EA	SUITABLE FOR DAMP LOCATION
TL	LITHONIA	-----	21 & W EA	TUNNEL LIGHT SUITABLE FOR DAMP LOCATION
FAN	A.P.O.	A.P.O.	500 W EA	SUITABLE FOR DAMP LOCATION

1. EQUIPMENT MODEL NUMBERS, ETC. HAVE BEEN SELECTED BY OWNER.
2. VERIFY ALL EQUIPMENT MOUNTING HEIGHTS, MODELS, ETC. WITH OWNER.
3. A.P.O. = AS PER OWNER.

GEORGIA POWER NOTE:
 GEORGIA POWER IS TO SUPPLY A 3-PHASE, 480 VOLT, 300 KVA TRANSFORMER TO SUPPLY THE FACILITY. THE TRANSFORMER IS TO BE PLACED IN THE GRASSED AREA NEAR THE METER CAN.

SPECIAL EQUIPMENT NOTES :

1. ALL MODEL NUMBERS OF PROCESS EQUIPMENT, LIGHTS, HVAC EQUIPMENT, FANS, ETC. HAVE BEEN SUPPLIED BY THE OWNER AND/OR THE EQUIPMENT MANUFACTURER.
2. ALL ELECTRICAL LOADS AND CONNECTIONS, WATER SERVICE, WASTE LINES, ETC. HAVE BEEN SUPPLIED BY THE OWNER AND/OR THE EQUIPMENT MANUFACTURER.

SPECIAL SIGN AND WALL PACK NOTE :

1. PYLON SIGN, BUILDING SIGN AND WALL PACKS ARE TO BE EQUIPPED PHOTOCELL TO ACTIVATE LIGHTS IN DARK CONDITIONS.
2. COORDINATE WITH OWNER.

FIXTURE AND RECEPTACLE NOTE :

1. MOUNTING HEIGHTS AND LOCATIONS FOR ALL RECEPTACLES, LIGHTING, EQUIPMENT, AND CABINETS TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
2. LIGHT COLOR, WAVE LENGTH, ETC TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
3. ALL LOW VOLTAGE FOR SECURITY, PHONES, CABLE, COMPUTERS, KEYPADS, ETC. ARE TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
4. ALL EQUIPMENT, LIGHTS, CABINETS, PUMPS, ETC. ASSIGNED WITH THE PROJECT WERE SELECTED BY THE OWNER.

ELECTRICAL LEGEND

<ul style="list-style-type: none"> ⊖ DUPLEX RECEPTACLE OUTLET 12" ON CENTER ABOVE FINISH FLOOR. ⊖/GFI DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPT ☎ TELEPHONE OUTLET (SEE T/C DETAIL) ⊖ ELECTRIC PANEL BOARD S SWITCH — TELEPHONE BACKBOARD ⊖/ENG./X COMPUTER OUTLET (SEE T/C DETAIL) ⊖/ENC. EMERGENCY / EXIT LIGHT COMBO. ⊖/EM. EMERGENCY EXIT SIGN ⊖/EM. EMERGENCY LIGHTS ⊖/NEMA 1 DISCONNECT SWITCH ⊖/NEMA 3R DISCONNECT SWITCH ⊖/JUNCTION BOX (CEILING OR WALL MOUNTED) ⊖ SMOKE DETECTOR ⊖ LOW BAY TYPE LIGHT ⊖ EXHAUST FAN ⊖ 2 x 4 FLUORESCENT LIGHT FIXTURE ⊖ 2 x 2 FLUORESCENT LIGHT FIXTURE ⊖ INCANDESCENT LIGHT FIXTURE 	<ul style="list-style-type: none"> ⊖ PORCH STYLE LIGHT ⊖ THERMOSTAT ⊖ COMBINATION STARTER AND DISCONNECT SWITCH ⊖ SURFACE MOUNTED FLUORESCENT FIXTURE SEE FIXTURE SCHEDULE FOR LENGTH ⊖ TRACK LIGHT ⊖ WALL MOUNTED INCANDESCENT FIXTURE ⊖ RECESSED INCANDESCENT DOWNLIGHT ⊖ PENDANT MOUNTED INCANDESCENT FIXTURE ⊖ CEILING FAN ⊖ CONDUIT STUBBED UP OR TURNING UP ⊖ CONDUIT TURNING DOWN ⊖ PUSHBUTTON START/STOP STATION, "P" INDICATES PILOT LIGHT ⊖ DOUBLE DUPLEX (4-PLEX) RECEPTACLE, NEMA 5-20 ⊖ SINGLE CONVENIENCE RECEPTACLE, NEMA 5-20 U.O.N.; 12" A.F.F., U.O.N. ⊖ SPECIAL PURPOSE CONNECTION 	<ul style="list-style-type: none"> ○ 120V, 1PH DIRECT CONNECTION ⊖ 120V, 1PH JUNCTION BOX ⊖ 208-240V, 1PH SINGLE RECEPTACLE ⊖ 208-240V, 1PH DIRECT CONNECTION ⊖ 208-240V, 1PH JUNCTION BOX ⊖ MANUAL MOTOR STARTER, 120 VOLT WITH OVERLOAD PROTECTION ⊖ HEIGHT ABOVE FINISHED FLOOR, MEASURED TO CENTERLINE OF BOX ⊖ MOTOR CONNECTION ⊖ STUB OUT ABOVE CEILING, INSTALL INSULATED BUSHING ⊖ MANUAL MOTOR STARTER ⊖ SINGLE POLE, SINGLE THROW, 20A/120V LIGHT SWITCH ⊖ THREE WAY, 20A/120V LIGHT SWITCH ⊖ SINGLE POLE, SINGLE THROW, 20A / 120V LIGHT SWITCH - "P" INDICATES PILOT LIGHT ⊖ TELEPHONE HOMERUN TO BACKBOARD 	<ul style="list-style-type: none"> DC — INDICATES 1/2" C. WITH D.C. CONDUCTORS ⊖ EQUIPMENT CONNECTION ⊖ BRANCH CIRCUIT CONDUIT IN OR BELOW SLAB ⊖ BRANCH CIRCUIT HOMERUN TO PANELBOARD WITH CONTINUOUS GREEN GROUND WIRE PER N.E.C., UNLESS OTHERWISE NOTED; CONCEALED OVERHEAD PANEL; SLASHES INDICATE NO. OF WIRES (NOT INCLUDING GROUND); NO SLASHES INDICATES TWO WIRES ⊖ VOLUME CONTROL - J-BOX (SIZE PER SYSTEM REQUIREMENTS) ⊖ TRANSFORMER ⊖ BUZZER / BELL ⊖ DUCT SMOKE DETECTOR ⊖ FIRE-STAT ⊖ SPEAKER ⊖ J-BOX FOR TV CABLE
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SYMBOL	DESCRIPTION
—	HVAC SUPPLY DUCT
---	HVAC RETURN DUCT
⊖	HVAC SUPPLY GRILLE
⊖	HVAC RETURN GRILLE
V H A C	AIR HANDLER UNIT
⊖	COMPRESSOR UNIT
⊖	WATER HEATER
⊖	THERMOSTAT
⊖	EXHAUST FAN
⊖	WAREHOUSE FAN
⊖	PHONE/CABLE/COMPUTER

REVISIONS

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PPD

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 ROBERT ALAN WILSON
 THOMSON LAND, LLC
 205 WASHINGTON ST
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GENERAL LIGHTING PLAN

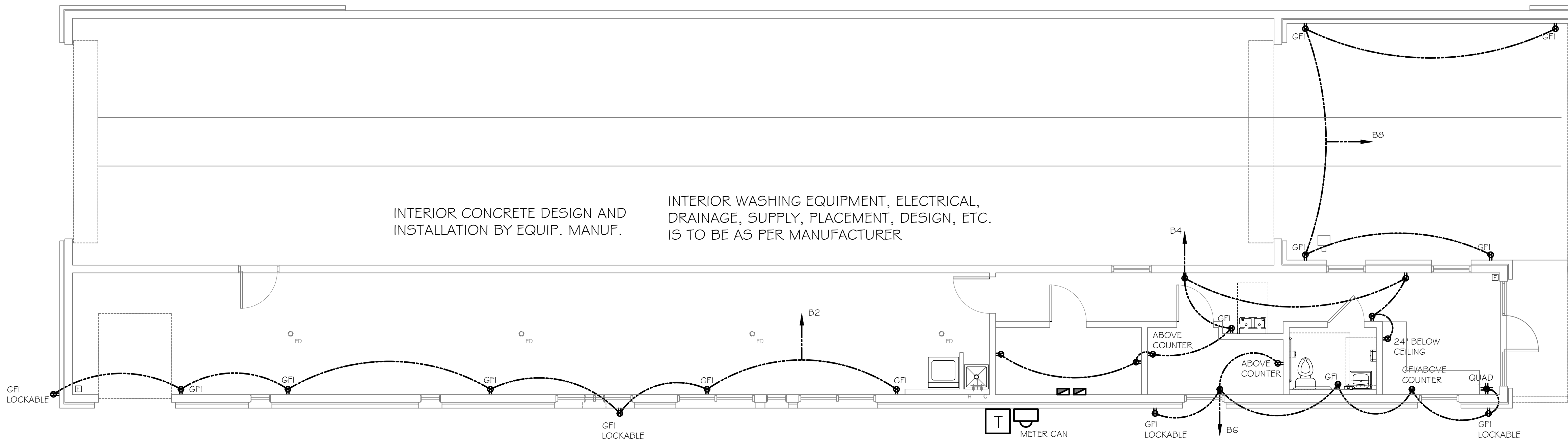
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GEORGIA REGISTERED PROFESSIONAL ENGINEER
 No. 28372
 2-17-22
 MARK A. BOSWELL

DRAWING NUMBER
E-1

12 OF 20 SHEETS



GENERAL POWER PLAN
3/16" = 1'-0"

NON-CAR WASH EQUIPMENT SCHEDULE

EQUIPMENT	MANUF.	MODEL	ELECTICAL	REMARKS
AHU	CARRIER	40MPHAQ09XA3	31 AMPS EACH	MOUNTING HT. A.P.O.
CU	CARRIER	38MPRAQ09AA3	THROUGH AHU	
SIDEWALL FAN	GREENHECK	SDPE-D-14G-1-DS	6 AMPS EACH	TO HAVE CONTROLLER
HEAT	MARKEL	POP5507T	9.1 AMPS EACH	WATER RATED
WASHER	A.P.O.	A.P.O.	23 AMPS	
HAND DRYER	A.P.O.	A.P.O.	8 AMPS	
TANKLESS GAS WH 1	RINNAI	V53DeN	1.2 A / 5A CB OR A.P.O.	
TANKLESS GAS WH 2	RINNAI	CU1 G0i	4A / 10 A CB OR A.P.O.	
ROLL UPS	A.P.O.	A.P.O.	750 W EACH	WATER RATED

- EQUIPMENT MODEL NUMBERS, ETC. HAVE BEEN SELECTED BY OWNER.
- VERIFY ALL EQUIPMENT MOUNTING HEIGHTS, MODELS, ETC. WITH OWNER.
- A.P.O. = AS PER OWNER

GEORGIA POWER NOTE:
GEORGIA POWER IS TO SUPPLY A 3-PHASE, 480 VOLT, 300 KVA TRANSFORMER TO SUPPLY THE FACILITY. THE TRANSFORMER IS TO BE PLACED IN THE GRASSED AREA NEAR THE METER CAN.

SPECIAL EQUIPMENT NOTES :

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- ALL EQUIPMENT, LIGHTS, CABINETS, PUMPS, ETC. ASSIGNED WITH THE PROJECT WERE SELECTED BY THE OWNER.

Permit Set

NO.	DATE	DESCRIPTION

BOSWELL DESIGN SERVICES, INC.
OFFICE: 4700 EAST HIGHWAY 80
Unit N, Suite 1
MAILING: 103 NASSAU DRIVE
SAVANNAH, GEORGIA 31410
912 - 897 - 6932
LAHBOS@bellsouth.net

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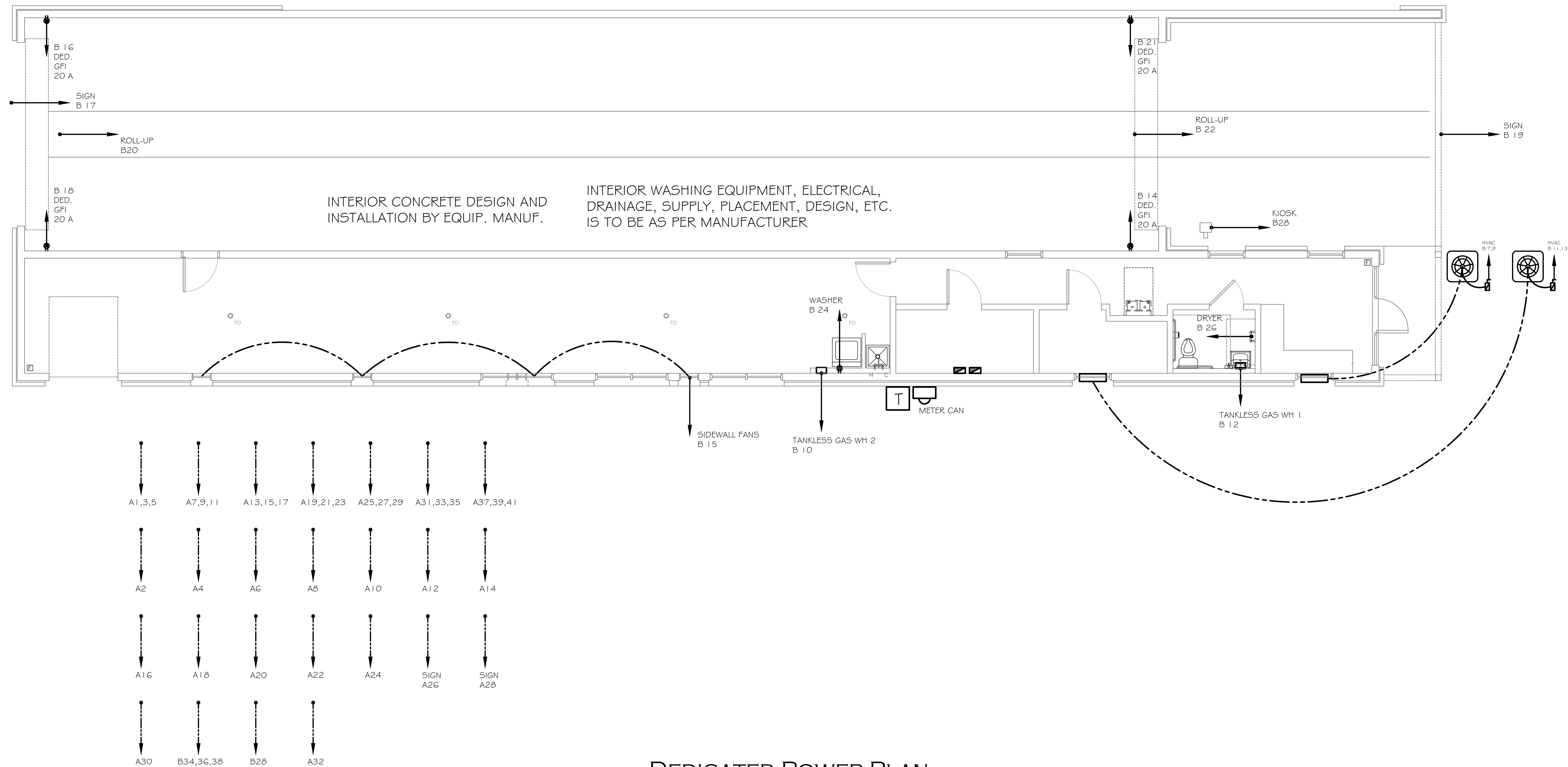
STATE OF GEORGIA
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GENERAL POWER PLAN

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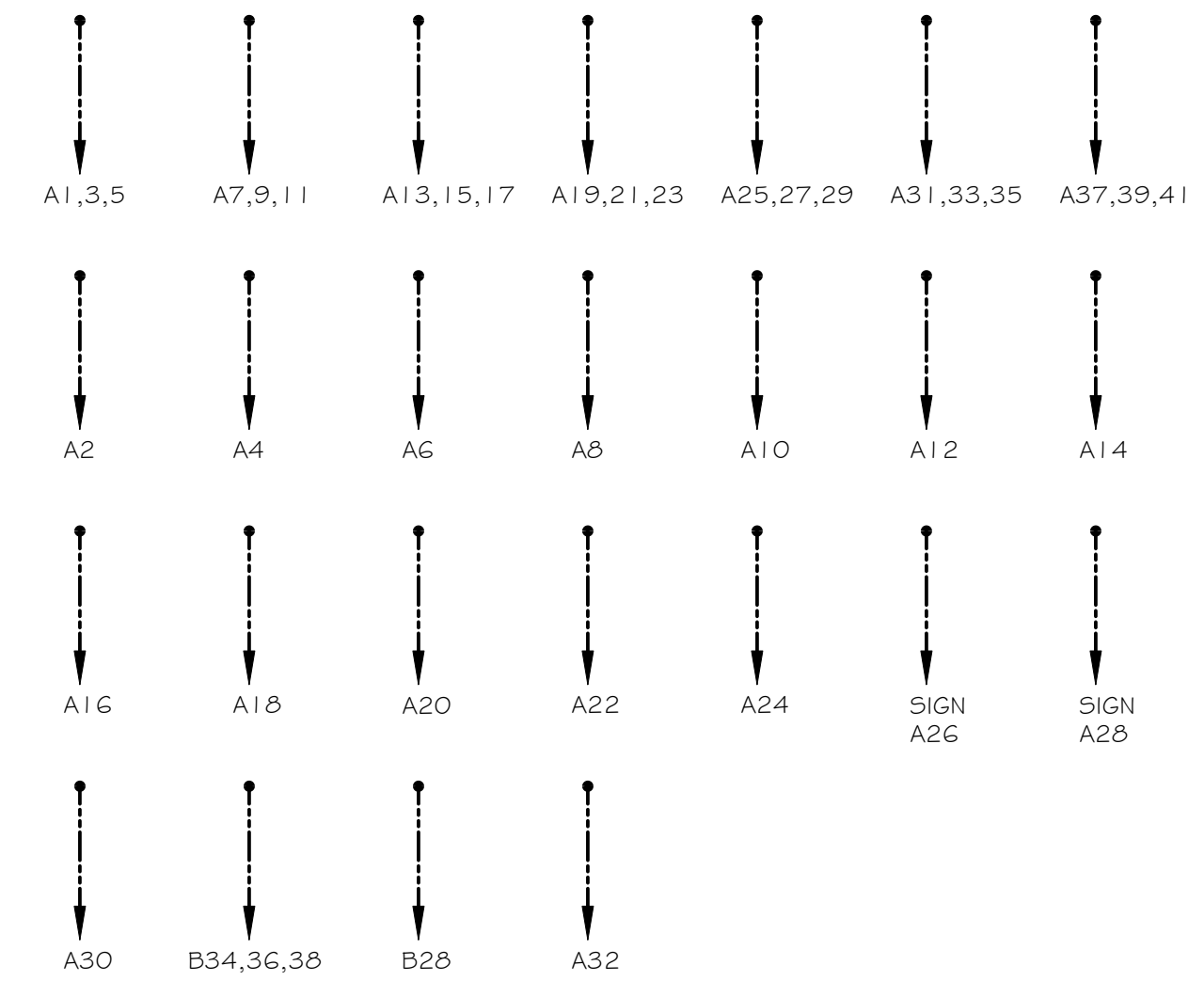
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No. 28372
2-17-22
MARK A. BOSWELL

DRAWING NUMBER

E-2



INTERIOR CONCRETE DESIGN AND INSTALLATION BY EQUIP. MANUF.
 INTERIOR WASHING EQUIPMENT, ELECTRICAL, DRAINAGE, SUPPLY, PLACEMENT, DESIGN, ETC. IS TO BE AS PER MANUFACTURER.



DEDICATED POWER PLAN
 3/16" = 1'-0"

SITE ELECTRICAL NOTES :
 1. ALL SITE ELECTRICAL IS TO BE COORDINATED WITH THE OWNER.
 2. ALL SITE ELECTRICAL IS TO BE INSTALLED UNDERGROUND WITHIN CONDUIT SUITABLE FOR UNDERGROUND INSTALLATIONS.

GEORGIA POWER NOTE:
 GEORGIA POWER IS TO SUPPLY A 3-PHASE, 480 VOLT, 300 KVA TRANSFORMER TO SUPPLY THE FACILITY. THE TRANSFORMER IS TO BE PLACED IN THE GRASSED AREA NEAR THE METER CAN.

SPECIAL EQUIPMENT NOTES :
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FIXTURE AND RECEPTACLE NOTE :
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 4. ALL EQUIPMENT, LIGHTS, CABINETS, PUMPS, ETC. ASSIGNED WITH THE PROJECT WERE SELECTED BY THE OWNER.

NON-CAR WASH EQUIPMENT SCHEDULE				
EQUIPMENT	MANUF.	MODEL	ELECTICAL	REMARKS
AHU	CARRIER	40MPHAQ09XA3	31 AMPS EACH	MOUNTING HT. A.P.O.
CU	CARRIER	38MPRAQ09AA3	THROUGH AHU	
SIDEWALL FAN	GREENHECK	SDPE-D-14G-1-DS	6 AMPS EACH	TO HAVE CONTROLLER
HEAT	MARKEL	FSF55071	9.1 AMPS EACH	WATER RATED
WASHER	A.P.O.	A.P.O.	23 AMPS	
HAND DRYER	A.P.O.	A.P.O.	8 AMPS	
TANKLESS GAS WH 1	RINNAI	V53DeN	1.2 A / 5A CB OR A.P.O.	
TANKLESS GAS WH 2	RINNAI	CU1G0i	4A / 10 A CB OR A.P.O.	
ROLL UPS	A.P.O.	A.P.O.	750 W EACH	WATER RATED

1. EQUIPMENT MODEL NUMBERS, ETC. HAVE BEEN SELECTED BY OWNER.
 2. VERIFY ALL EQUIPMENT MOUNTING HEIGHTS, MODELS, ETC. WITH OWNER.
 3. A.P.O. = AS PER OWNER.

Permit Set

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PRO

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DEDICATED POWER PLAN

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 No. 28372
 2-17-22
 MARK A. BOSWELL

DRAWING NUMBER
E-3

14 OF 20 SHEETS

LIGHTING FIXTURE SCHEDULE								
MARK	NO. OF LAMPS	WATTS	VOLTS	LAMP TYPE	MOUNTING	LENSE TYPE	MANUFACTURER & CATALOG NO.	REMARKS
A	4	32/EA 128 W TOTAL	120	F-32 T8	RECESSED CEILING	ACRYLIC PRISM	LITHONIA 2' x 4'	ELECTRONIC BALLAST INSTANT START STATIC GRID TROFFER
A/NL	4	32/EA 128 W TOTAL	120	F-32 T8	RECESSED CEILING	ACRYLIC PRISM	LITHONIA 2' x 4'	NIGHT SECURITY LIGHT ELECTRONIC BALLAST INSTANT START STATIC GRID TROFFER
A-1 (OPTION)	4	32/EA 128 W TOTAL	120	F-32 T8	RECESSED CEILING	PARABOLIC	LITHONIA 2' x 4'	ELECTRONIC BALLAST INSTANT START STATIC GRID TROFFER
B	4	32/EA 128 W TOTAL	120	F-32 T8	RECESSED CEILING	ACRYLIC PRISM	LITHONIA 2' x 2'	ELECTRONIC BALLAST INSTANT START STATIC GRID TROFFER
GW	1	100	120		RECESSED			SUITABLE FOR WET LOCATION
EF	1	5	120		RECESSED	PLASTIC	BROAN	COMMERCIAL DUTY BATHROOM EXH. FAN
EM	2	7.2	6	T-5 TUNGSTEN	WALL	SEALED BEAM	LITHONIA	EMERGENCY
ENG./X	---	5	120/6	RED LED	UNIVERSAL CANOPY	STENOIL RED "EXIT"	LITHONIA - QUANTUM	ENG.EXIT COMBO W/BATTERY PACK
WP1	1	150	120	PMA	WALL	FLAT	STUNCO	SUITABLE FOR WET LOCATION MEETS DARK SKY ORDINANCE SHIELDED OR CUT - OFF FIXTURE
P	1	100 EA TOTAL	120	INCAN	WALL	GLOBE		PORCH STYLE WALL MOUNT SUITABLE FOR WET LOCATION
T5G	6	54/EA 324 W TOTAL	120	T-5	CEIL	NONE	GE	HIGH BAY FIXTURE
I	1	100	120		CEILING			INCANDESCENT
C	1	100	120	INCAN	RECESSED			RECESSED CAN OWNER TO SELECT
W	1	100	120	INCAN	WALL			WALL SCONCE OWNER TO SELECT
O	4	32/EA 128 W TOTAL	120	F-32 T8	RECESSED CEILING	ACRYLIC PRISM	LITHONIA 2' x 4'	OWNER TO SELECT
⊙	6	100/EA 600 W TOTAL	120	AS PER OWNER	CEILING	AS PER OWNER	AS PER OWNER	JUNCTION BOX FOR FUTURE CHANDELIER
GF	0	600 W	120	AS PER OWNER	CEILING	AS PER OWNER	AS PER OWNER	CEILING FAN
OA	4	32/EA 128 W TOTAL	120	F-32 1-8	OUTSIDE A FIXTURE	AS PER OWNER	AS PER OWNER	OUTSIDE FLUORESCENT ELECTRONIC BALLAST INSTANT START
TL1	9	75/EA 675 W TOTAL	120		CAN LIGHTS	AS PER OWNER	AS PER OWNER	TRACK MOUNTED CAN LIGHTS
TL2	6	75/EA 450 W TOTAL	120		CAN LIGHTS	AS PER OWNER	AS PER OWNER	TRACK MOUNTED CAN LIGHTS
TL3	5	75/EA 375 W TOTAL	120		CAN LIGHTS	AS PER OWNER	AS PER OWNER	TRACK MOUNTED CAN LIGHTS
TL4	4	75/EA 300 W TOTAL	120		CAN LIGHTS	AS PER OWNER	AS PER OWNER	TRACK MOUNTED CAN LIGHTS
TL5	12	75/EA 900 W TOTAL	120		CAN LIGHTS	AS PER OWNER	AS PER OWNER	TRACK MOUNTED CAN LIGHTS
PB	1	25 W	120	AS PER OWNER	PENDANT	AS PER OWNER	AS PER OWNER	
RAB	N.A.	59 W	120	AS PER OWNER	CEILING	AS PER OWNER	RAB 2 X 4 - 59 W	--
UD	1 OR 2	150 W	120	AS PER OWNER	WALL	AS PER OWNER	AS PER OWNER	PORCH STYLE WALL MOUNT SUITABLE FOR WET LOCATION

NOTES: 1. OR EQUALS ARE ACCEPTABLE.
2. OWNER TO VERIFY ALL STYLES, COLORS, ETC.

SPECIALTY LIGHTING SCHEDULE				
SYMBOL	MANUF.	MODEL	ELECTICAL	REMARKS
A	LITHONIA		50 W EA	SUITABLE FOR DAMP LOCATION
TL	LITHONIA	-----	218 W EA	TUNNEL LIGHT SUITABLE FOR DAMP LOCATION
FAN	A.P.O.	A.P.O.	500 W EA	SUITABLE FOR DAMP LOCATION

1. EQUIPMENT MODEL NUMBERS, ETC. HAVE BEEN SELECTED BY OWNER.
2. VERIFY ALL EQUIPMENT MOUNTING HEIGHTS, MODELS, ETC. WITH OWNER.
3. A.P.O. = AS PER OWNER.

NON-CAR WASH EQUIPMENT SCHEDULE				
EQUIPMENT	MANUF.	MODEL	ELECTICAL	REMARKS
AHU	CARRIER	40MPHAQ09XA3	31 AMPS EACH	MOUNTING HT. A.P.O.
CU	CARRIER	38MPRAQ09AA3	THROUGH AHU	
SIDEWALL FAN	GREENHECK	SDPE-D-14G-1-D5	6 AMPS EACH	TO HAVE CONTROLLER
HEAT	MARKEL	FSP5507T	9.1 AMPS EACH	WATER RATED
WASHER	A.P.O.	A.P.O.	23 AMPS	
HAND DRYER	A.P.O.	A.P.O.	8 AMPS	
TANKLESS GAS WH 1	RINNAI	V53DeN	1.2 A / 5A CB OR A.P.O.	
TANKLESS GAS WH 2	RINNAI	CU160i	4A / 10 A CB OR A.P.O.	
ROLL UPS	A.P.O.	A.P.O.	750 W EACH	WATER RATED

1. EQUIPMENT MODEL NUMBERS, ETC. HAVE BEEN SELECTED BY OWNER.
2. VERIFY ALL EQUIPMENT MOUNTING HEIGHTS, MODELS, ETC. WITH OWNER.
3. A.P.O. = AS PER OWNER.

PANEL: A TYPE: AS PER OWNER STYLE: AS PER OWNER MAINTYPE: M.L.O.									
AMPS: 800		VOLTS: 480		PHASE: 3		WIRE: 4		A.I.C.RATING: 10,000	
CKT NO	LOAD DIRECTORY	VA	CB AMP	CB AMP	VA	LOAD DIRECTORY	CKT NO	LOAD DIRECTORY	VA
1	H2O PUMP **	1,350	3/15	20	1,750	VACUUM LIGHTS **	2		
3	---	1,350	---	20	1,750	VACUUM LIGHTS **	4		
5	---	1,350	---	20	1,750	VACUUM LIGHTS **	6		
7	COMPRESSOR **	2,250	3/25	15	1,350	CONTROL **	8		
9	---	2,250	---	15	1,350	CONTROL **	10		
11	---	2,250	---	15	1,350	CONTROL BOX **	12		
13	COMPRESSOR **	2,250	3/25	20	1,750	PAY STATION **	14		
15	---	2,250	---	20	1,750	RELAY BOX **	16		
17	---	2,250	---	20	1,750	RELAY BOX **	18		
19	RECLAIM **	1,350	3/15	20	1,750	ENTER SIGN **	20		
21	---	1,350	---	20	1,750	RECEIVED SIGN **	22		
23	---	1,350	---	20	1,750	WAIT AND GO **	24		
25	RO UNIT **	1,350	3/15	20	1,750	SITE SIGN **	26		
27	---	1,350	---	20	1,750	SITE SIGN **	28		
29	---	1,350	---	20	1,750	AIR DRYER **	30		
31	RO PRESSURE **	1,350	3/15	20	1,750	PARKING LIGHTS **	32		
33	---	1,350	---	3/200	14,692	B **	34		
35	---	1,350	---	---	14,692	---	36		
37	CC **	53,976	3/600	---	14,692	---	38		
39	---	53,976	---	---	---	SPARE	40		
41	---	53,976	---	---	---	SPARE	42		

** VERIFY AMPS, CIRCUITS, ETC. WITH MANUFACTURER

POWER FACTORS	LOAD	DEMAND
LIGHTS = 100%	8.29 KW	8.29 KW
A.C. = 100%	14.4 KW	14.4 KW
GENERAL/MISCELLANEOUS = 100% OF FIRST 10 KW	14.4 KW	14.4 KW
40% OF REMAINDER	53.27 KW	41.82 KW

TOTAL CONNECTED VA = 262,503
TOTAL CONNECTED AMPS = 729
TOTAL DEMAND AMPS = 729

PANEL: B TYPE: AS PER OWNER STYLE: AS PER OWNER MAINTYPE: M.L.O.									
AMPS: 200		VOLTS: 120/208		PHASE: 3		WIRE: 4		A.I.C.RATING: 10,000	
CKT NO	LOAD DIRECTORY	VA	CB AMP	CB AMP	VA	LOAD DIRECTORY	CKT NO	LOAD DIRECTORY	VA
1	LIGHTS	1,090	20	20	1,440	RECEPS	2		
3	LIGHTS	1,850	20	20	1,080	RECEPS	4		
5	LIGHTS	1,867	20	20	1,440	RECEPS	6		
7	HVAC - 1 **	1,200	2/20	20	720	RECEPS	8		
9	---	1,200	---	10	1,000	TANKLESS GAS WH 2	10		
11	HVAC - 2 **	1,200	2/20	5	300	TANKLESS GAS WH 1	12		
13	---	1,200	---	20	1,800	DEDICATED 20 A	14		
15	SIDEWALL FANS **	2,880	30	20	1,800	DEDICATED 20 A	16		
17	SIGN	1,500	20	20	1,800	DEDICATED 20 A	18		
19	SIGN	1,500	20	20	1,000	ROLL UP DOOR **	20		
21	DEDICATED 20 A	1,800	20	20	1,000	ROLL UP DOOR **	22		
23	SPARE			20	1,500	WASHER **	24		
25	SPARE			20	1,750	HAND DRYER **	26		
27	SPARE			20	200	BLDG KIOSK **	28		
29	SPARE			3/30	1,525	INSTANT 2 **	30		
31	SPARE			---	1,525	---	32		
33	SPARE			---	1,525	---	34		
35	NEON SIGN	1,750	20	20	1,750	MENU	36		
37	NEON SIGN	1,750	20	20	1,750	GATE	38		
39	GATE	1,750	20	20	1,750	EXIT SIGN	40		
41	SPARE					SPARE	42		

** VERIFY AMPS, CIRCUITS, ETC. WITH MANUFACTURER

POWER FACTORS	LOAD	DEMAND
LIGHTS = 100%	8.29 KW	8.29 KW
A.C. = 100%	14.4 KW	14.4 KW
GENERAL/MISCELLANEOUS = 100% OF FIRST 10 KW	14.4 KW	14.4 KW
40% OF REMAINDER	53.27 KW	41.82 KW

TOTAL CONNECTED VA = 44,075
TOTAL CONNECTED AMPS = 123
TOTAL DEMAND AMPS = 123

FIXTURE AND RECEPTACLE NOTE :

1. MOUNTING HEIGHTS AND LOCATIONS FOR ALL RECEPTACLES, LIGHTING, EQUIPMENT, AND CABINETS TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
2. LIGHT COLOR, WAVE LENGTH, ETC TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
3. ALL LOW VOLTAGE FOR SECURITY, PHONES, CABLE, COMPUTERS, KEYPADS, ETC. ARE TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
4. ALL EQUIPMENT, LIGHTS, CABINETS, PUMPS, ETC. ASSIGNED WITH THE PROJECT WERE SELECTED BY THE OWNER.

ELECTRICAL PANEL NOTES :

1. CLEARANCES
 - A. CEILING = NOT LESS THAN 36" BETWEEN TOP OF SWITCHBOARD AND ANY COMBUSTIBLE CEILING UNLESS PROVIDED WITH NON-COMBUSTIBLE SHIELD.
 - B. DEPTH

NOMINAL VOLTAGE TO GROUND	MINIMUM CLEAR DISTANCE (FT)		
	CONDITION 1	CONDITION 2	CONDITION 3
0 TO 150	3	3	3
151 TO 600	3	3.5	4

CONDITIONS ARE DEFINED AS PER NEC 110-26

SPECIAL EQUIPMENT NOTES :

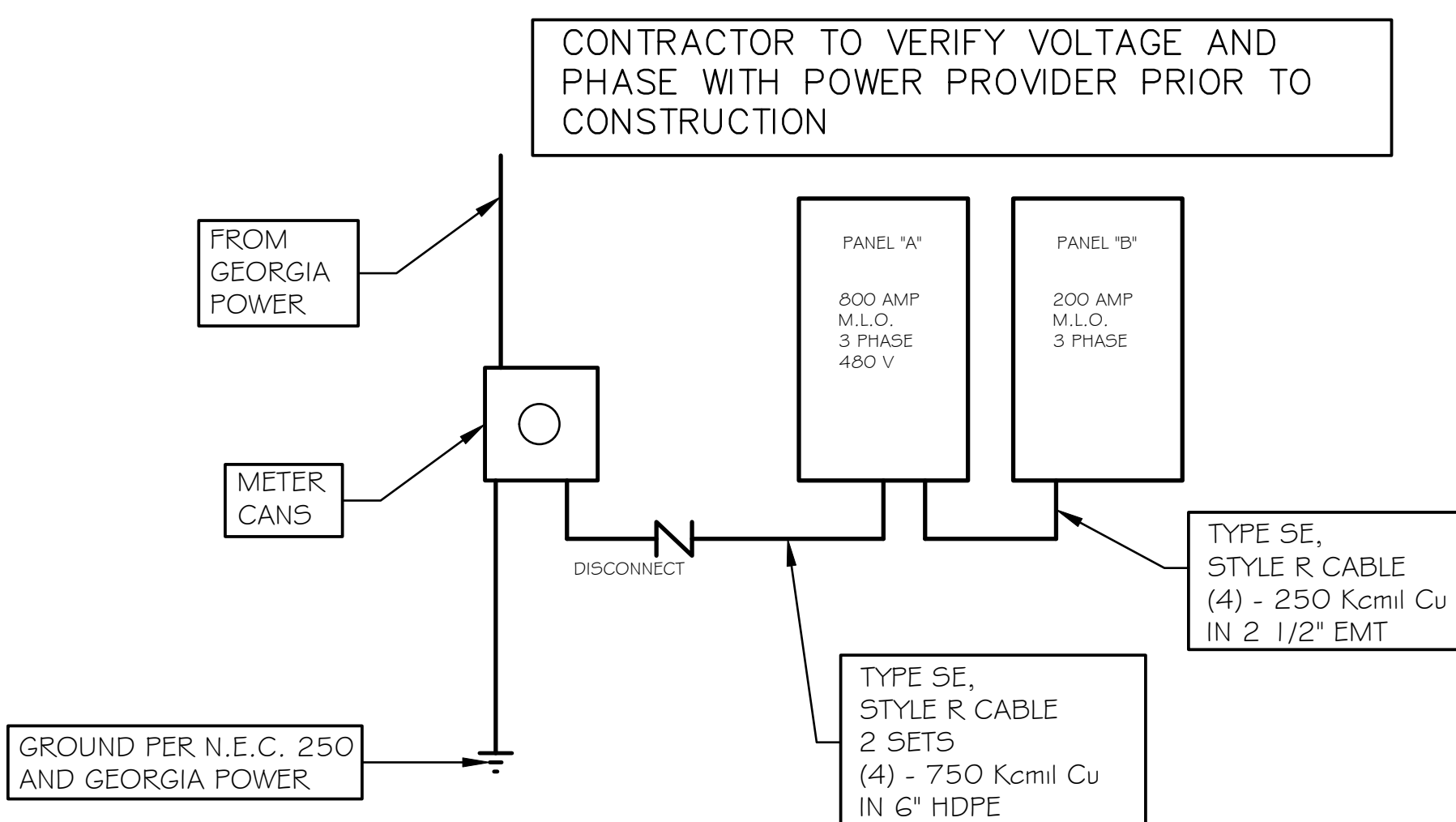
1. ALL MODEL NUMBERS OF PROCESS EQUIPMENT, LIGHTS, HVAC EQUIPMENT, FANS, ETC. HAVE BEEN SUPPLIED BY THE OWNER AND/OR THE EQUIPMENT MANUFACTURER.
2. ALL ELECTRICAL LOADS AND CONNECTIONS, WATER SERVICE, WASTE LINES, ETC. HAVE BEEN SUPPLIED BY THE OWNER AND/OR THE EQUIPMENT MANUFACTURER.

SPECIAL AE AND VE ZONE NOTES :

1. BUILDINGS IN "AE" ZONES ARE TO HAVE THE FINISHED FLOOR SET A MINIMUM OF 1' ABOVE FLOOD.
2. BUILDINGS IN "VE" ZONES ARE TO HAVE THE LOWEST HORIZONTAL STRUCTURAL MEMBER SET A MINIMUM OF 1' ABOVE FLOOD.
3. BUILDINGS IN AE AND VE ZONES ARE TO HAVE ALL ELECTRICAL, PLUMBING, HVAC, DUCTWORK AND OTHER EQUIPMENT TO BE A MINIMUM OF 1' ABOVE FLOOD.
4. FLOOD VENTS ARE REQUIRED IN "AE" ZONES AND ARE TO HAVE 1 SQUARE INCH / SQUARE FOOT OF FLOOR PLAN AREA. WITH A MINIMUM ROUND OPENING OF 3". A MINIMUM OF 2 OPENINGS WITH ALL OPENINGS EVENLY SPACED AROUND PERIMETER. BOTTOM OF OPENING SHALL BE 12" OR LESS ABOVE ADJACENT GRADE.
5. BREAK AWAY WALLS ARE REQUIRED IN "VE" ZONES.
6. COORDINATE SITE WORK AND FINISHED FLOOR ELEVATIONS WITH ARCHITECTURAL PLANS TO MAKE SURE BUILDING ELEVATIONS ARE SET AS PER CODE.

GEORGIA POWER NOTE:

GEORGIA POWER IS TO SUPPLY A 3-PHASE, 480 VOLT, 300 KVA TRANSFORMER TO SUPPLY THE FACILITY. THE TRANSFORMER IS TO BE PLACED IN THE GRASSED AREA NEAR THE METER CAN.



ELECTRICAL RISER DIAGRAM
NOT TO SCALE
* VERIFY FAULT CURRENT WITH POWER COMPANY

Permit Set

REVISIONS

BOSWELL DESIGN SERVICES, INC.
OFFICE: 4700 EAST HIGHWAY 80
Unit N, Suite 1
MAILING: 103 NASSAU DRIVE
SAVANNAH, GEORGIA 31410
912 - 897 - 6932
LAHBOS@bellsouth.net

DESIGNED: MBS
DRAWN: MBS
DATE: February 17, 2022
JOB NO.:
SCALE: as shown

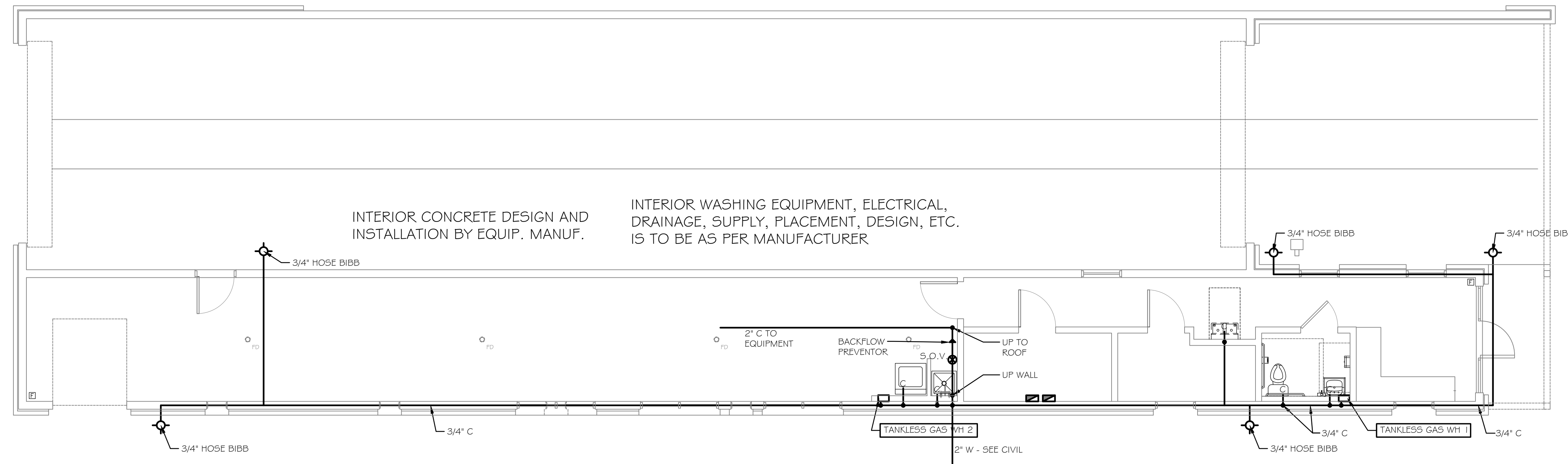
1640 WASHINGTON ROAD
THOMSON, GEORGIA
ROBERT ALAN WILSON
THOMSON LAND, LLC
208 WASHINGTON, SC 29516

GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. 28372
2-17-22
MARK A. BOSWELL

CONTACT A MINIMUM OF 72 HOURS PRIOR TO ISSUING
UTILITIES PROTECTION CENTER
1-800-282-7411

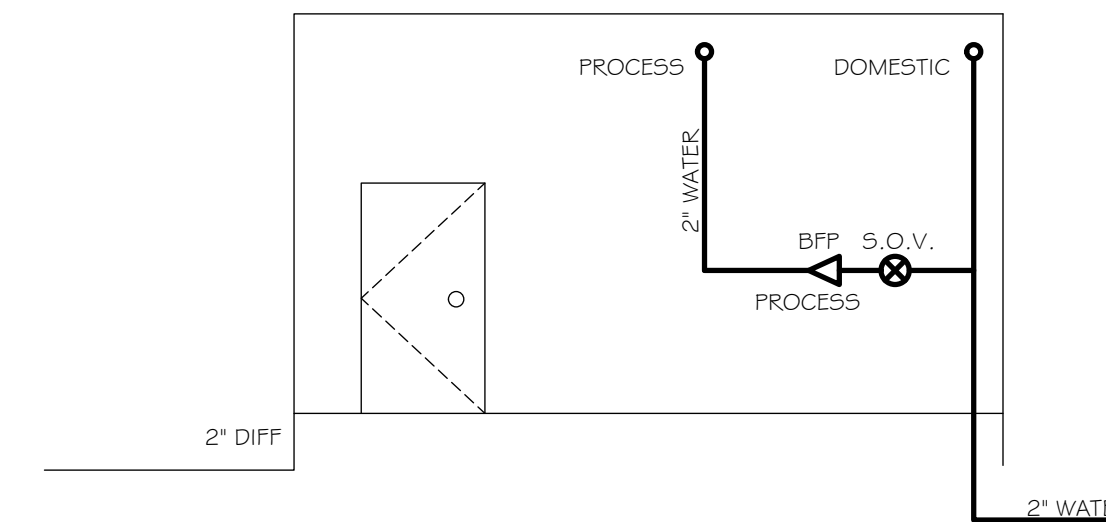
ELECTRICAL NOTES

DRAWING NUMBER
E-4
15 OF 20 SHEETS



PLUMBING SUPPLY PLAN - COLD

3/16" = 1'-0"



PLUMBING PARTIAL ELEVATION

NOT TO SCALE

SPECIAL EQUIPMENT NOTES :

1. ALL MODEL NUMBERS OF PROCESS EQUIPMENT, LIGHTS, HVAC EQUIPMENT, FANS, ETC. HAVE BEEN SUPPLIED BY THE OWNER AND/OR THE EQUIPMENT MANUFACTURER.
2. ALL ELECTRICAL LOADS AND CONNECTIONS, WATER SERVICE, WASTE LINES, ETC. HAVE BEEN SUPPLIED BY THE OWNER AND/OR THE EQUIPMENT MANUFACTURER.

SPECIAL DEMOLITION AND CONSTRUCTION NOTES :

1. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING WASTE AND WATER LINES PRIOR TO CONSTRUCTION.
2. ANY DAMAGE TO EXISTING WATER AND WASTE LINES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. SAW CUT EXISTING SLAB TO A SMOOTH LINE, REMOVE CONCRETE AS REQUIRED FOR CONSTRUCTION, COMPACT AND REPLACE WITH 3,000 psi (min.) CONCRETE.
4. CONSTRUCT PLUMBING WALLS WHERE REQUIRED.

NON-CAR WASH EQUIPMENT SCHEDULE

EQUIPMENT	MANUF.	MODEL	ELECTICAL	REMARKS
AHU	CARRIER	40MPHAQ09XA3	3 1 AMPS EACH	MOUNTING HT. A.P.O.
CU	CARRIER	38MPRAQ09AA3	THROUGH AHU	
SIDEWALL FAN	GREENHECK	SDPE-D-14G-1-D5	6 AMPS EACH	TO HAVE CONTROLLER
HEAT	MARKEL	P3P5507T	9.1 AMPS EACH	WATER RATED
WASHER	A.P.O.	A.P.O.	23 AMPS	
HAND DRYER	A.P.O.	A.P.O.	8 AMPS	
TANKLESS GAS WH 1	RINNAI	V53DeN	1.2 A / 5A CB OR A.P.O.	
TANKLESS GAS WH 2	RINNAI	CU160i	4A / 10 A CB OR A.P.O.	
ROLL UPS	A.P.O.	A.P.O.	750 W EACH	WATER RATED

1. EQUIPMENT MODEL NUMBERS, ETC. HAVE BEEN SELECTED BY OWNER.
2. VERIFY ALL EQUIPMENT MOUNTING HEIGHTS, MODELS, ETC. WITH OWNER.
3. A.P.O. = AS PER OWNER

FIXTURE AND RECEPTACLE NOTE :

1. MOUNTING HEIGHTS AND LOCATIONS FOR ALL RECEPTACLES, LIGHTING, EQUIPMENT, AND CABINETS TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
2. LIGHT COLOR, WAVE LENGTH, ETC TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
3. ALL LOW VOLTAGE FOR SECURITY, PHONES, CABLE, COMPUTERS, KEYPADS, ETC. ARE TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
4. ALL EQUIPMENT, LIGHTS, CABINETS, PUMPS, ETC. ASSIGNED WITH THE PROJECT WERE SELECTED BY THE OWNER.

SPECIAL AE AND VE ZONE NOTES :

1. BUILDINGS IN "AE" ZONES ARE TO HAVE THE FINISHED FLOOR SET A MINIMUM OF 1' ABOVE FLOOD.
2. BUILDINGS IN "VE" ZONES ARE TO HAVE THE LOWEST HORIZONTAL STRUCTURAL MEMBER SET A MINIMUM OF 1' ABOVE FLOOD.
3. BUILDINGS IN AE AND VE ZONES ARE TO HAVE ALL ELECTRICAL, PLUMBING, HVAC, DUCTWORK AND OTHER EQUIPMENT TO BE A MINIMUM OF 1' ABOVE FLOOD.
4. FLOOD VENTS ARE REQUIRED IN "AE" ZONES AND ARE TO HAVE 1 SQUARE INCH / SQUARE FOOT OF FLOOR PLAN AREA WITH A MINIMUM ROUND OPENING OF 3". A MINIMUM OF 2 OPENINGS WITH ALL OPENINGS EVENLY SPACED AROUND PERIMETER. BOTTOM OF OPENING SHALL BE 1/2" OR LESS ABOVE ADJACENT GRADE.
5. BREAK AWAY WALLS ARE REQUIRED IN "VE" ZONES.
6. COORDINATE SITE WORK AND FINISHED FLOOR ELEVATIONS WITH ARCHITECTURAL PLANS TO MAKE SURE BUILDING ELEVATIONS ARE SET AS PER CODE.

PLUMBING FIXTURE MIN. SUPPLY AND DRAIN SIZES

FIXTURE	CW	HW	SS	NOTES
CLOTHES WASHER	1/2"	1/2"	2"	NOTE 1 BELOW
BATHTUB/SHOWER	1/2"	1/2"	1 1/2"	NOTE 1 BELOW
DISHWASHER	1/2"	-	2"	NOTE 1 BELOW
DRINKING FOUNTAIN	1/2"	-	1 1/2"	NOTE 1 BELOW
SINK	3/4"	3/4"	2"	NOTE 1 BELOW
LAV	1/2"	1/2"	2"	NOTE 1 BELOW
HOSE BIBB SILCOCK	3/4"	-	-	NOTE 1 BELOW
URINAL	3/4"	-	2"	NOTE 1 BELOW
WATER CLOSET (tank)	1/2"	-	3"*	NOTE 1 BELOW
WATER CLOSET (flushometer valve)	1"	-	-	NOTE 1 BELOW

1. ALL UNDER SLAB OR UNDERGROUND SS LATERALS ARE TO BE A MINIMUM OF 2" DIA.

* NO MORE THAN 2 WATER CLOSETS ALLOWED ON 3" DIA. SS LATERALS

SANITARY LINE SLOPES :

SIZE	IN/FT
<2"	1/4"
3" TO 6"	1/8"
>8"	1/16"

NO.	DATE	BY	DESCRIPTION

BOSWELL DESIGN SERVICES, INC.
 OFFICE: 4700 EAST HIGHWAY 80
 Unit N, Suite 1
 MAILING: 103 NASSAU DRIVE
 SAVANNAH, GEORGIA 31410
 912 - 897 - 6932
 LAHBOS@bellsouth.net

DESIGNED BY	MSB
CHECKED BY	MSB
DATE	February 17, 2022
JOB NO.	
SCALE	as shown

STATE OF GEORGIA
 1640 WASHINGTON ROAD
 THOMSON, GEORGIA
 ROBERT ALAN WILSON
 THOMSON LAND, LLC
 205 WASHINGTON ST
 SPARTANBURG, SC 29316

PLUMBING SUPPLY PLAN - COLD

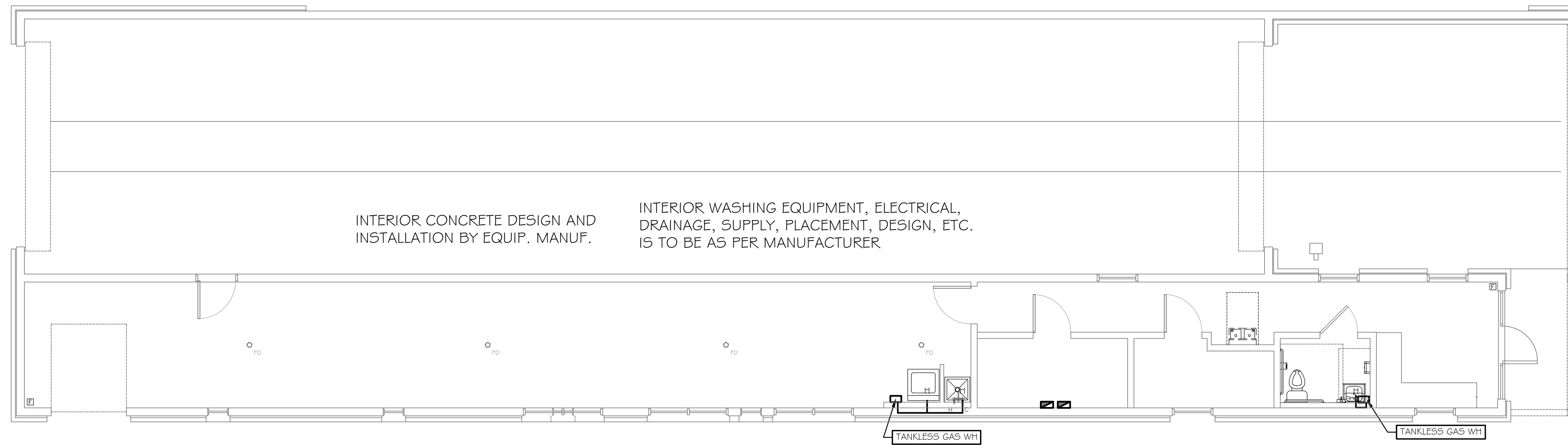
CONTACT A MINIMUM OF 72 HOURS PRIOR TO DIGGING

UTILITIES PROTECTION CENTER
 1-800-282-7411

GEORGIA REGISTERED PROFESSIONAL ENGINEER
 No. 28372
 2-17-22
 MARK A. BOSWELL

DRAWING NUMBER
P-1
 17 OF 20 SHEETS

Permit Set



PLUMBING SUPPLY PLAN - HOT

3/16" = 1'-0"

**PLUMBING FIXTURE
MIN. SUPPLY AND DRAIN SIZES**

FIXTURE	CW	HW	SS	NOTES
CLOTHES WASHER	1/2"	1/2"	2"	NOTE 1 BELOW
BATHTUB/SHOWER	1/2"	1/2"	1 1/2"	NOTE 1 BELOW
DISHWASHER	1/2"	-	2"	NOTE 1 BELOW
DRINKING FOUNTAIN	1/2"	-	1 1/4"	NOTE 1 BELOW
SINK	3/4"	3/4"	2"	NOTE 1 BELOW
LAV	1/2"	1/2"	2"	NOTE 1 BELOW
HOSE BIBB SILLCOCK	3/4"	-	-	NOTE 1 BELOW
URINAL	3/4"	-	2"	NOTE 1 BELOW
WATER CLOSET (tank)	1/2"	-	3"*	NOTE 1 BELOW
WATER CLOSET (flushometer valve)	1"	-	-	NOTE 1 BELOW

1. ALL UNDER SLAB OR UNDERGROUND SS LATERALS ARE TO BE A MINIMUM OF 2" DIA.

* NO MORE THAN 2 WATER CLOSETS ALLOWED ON 3" DIA. SS LATERALS

SANITARY LINE SLOPES :

SIZE	IN/FT
<2	1/2" 1/4
3" TO 6"	1/8
>8"	1/16

NON-CAR WASH EQUIPMENT SCHEDULE

EQUIPMENT	MANUF.	MODEL	ELECTICAL	REMARKS
AHU	CARRIER	40MPHAQ09XA3	31 AMPS EACH	MOUNTING HT. A.P.O.
CU	CARRIER	38MPRAQ09AA3	THROUGH AHU	
SIDEWALL FAN	GREENHECK	SDPE-D-14G-1-D5	6 AMPS EACH	TO HAVE CONTROLLER
HEAT	MARKEL	F3P55071	9.1 AMPS EACH	WATER RATED
WASHER	A.P.O.	A.P.O.	23 AMPS	
HAND DRYER	A.P.O.	A.P.O.	8 AMPS	
TANKLESS GAS WH 1	RINNAI	V53DeN	1.2 A/ 5A CB OR A.P.O.	
TANKLESS GAS WH 2	RINNAI	CUJ1GO	4A/ 10 A CB OR A.P.O.	
ROLL UPS	A.P.O.	A.P.O.	750 W EACH	WATER RATED

- EQUIPMENT MODEL NUMBERS, ETC. HAVE BEEN SELECTED BY OWNER.
- VERIFY ALL EQUIPMENT MOUNTING HEIGHTS, MODELS, ETC. WITH OWNER.
- A.P.O. = AS PER OWNER.

FIXTURE AND RECEPTACLE NOTE :

- MOUNTING HEIGHTS AND LOCATIONS FOR ALL RECEPTACLES, LIGHTING, EQUIPMENT, AND CABINETS TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
- LIGHT COLOR, WAVE LENGTH, ETC TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
- ALL LOW VOLTAGE FOR SECURITY, PHONES, CABLE, COMPUTERS, KEYPADS, ETC. ARE TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
- ALL EQUIPMENT, LIGHTS, CABINETS, PUMPS, ETC. ASSIGNED WITH THE PROJECT WERE SELECTED BY THE OWNER.

SPECIAL AE AND VE ZONE NOTES :

- BUILDINGS IN "AE" ZONES ARE TO HAVE THE FINISHED FLOOR SET A MINIMUM OF 1' ABOVE FLOOD.
- BUILDINGS IN "VE" ZONES ARE TO HAVE THE LOWEST HORIZONTAL STRUCTURAL MEMBER SET A MINIMUM OF 1' ABOVE FLOOD.
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- BREAK AWAY WALLS ARE REQUIRED IN "VE" ZONES.
- COORDINATE SITE WORK AND FINISHED FLOOR ELEVATIONS WITH ARCHITECTURAL PLANS TO MAKE SURE BUILDING ELEVATIONS ARE SET AS PER CODE.

SPECIAL EQUIPMENT NOTES :

- ALL MODEL NUMBERS OF PROCESS EQUIPMENT, LIGHTS, HVAC EQUIPMENT, FANS, ETC. HAVE BEEN SUPPLIED BY THE OWNER AND/OR THE EQUIPMENT MANUFACTURER.
- ALL ELECTRICAL LOADS AND CONNECTIONS, WATER SERVICE, WASTE LINES, ETC. HAVE BEEN SUPPLIED BY THE OWNER AND/OR THE EQUIPMENT MANUFACTURER.

SPECIAL DEMOLITION AND CONSTRUCTION NOTES :

- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING WASTE AND WATER LINES PRIOR TO CONSTRUCTION.
- ANY DAMAGE TO EXISTING WATER AND WASTE LINES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- SAW CUT EXISTING SLAB TO A SMOOTH LINE, REMOVE CONCRETE AS REQUIRED FOR CONSTRUCTION, COMPACT AND REPLACE WITH 3,000 psi (min.) CONCRETE.
- CONSTRUCT PLUMBING WALLS WHERE REQUIRED.

Permit Set

NO.	DATE	DESCRIPTION

BOSWELL DESIGN SERVICES, INC.
 OFFICE: 4700 EAST HIGHWAY 80
 Unit N, Suite 1
 MAILING: 103 NASSAU DRIVE
 SAVANNAH, GEORGIA 31410
 912 - 897 - 6932
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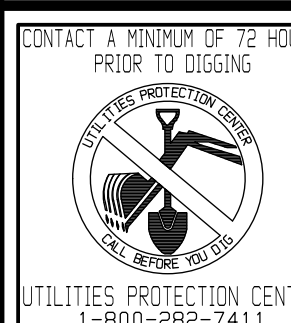


DESIGNED	DRAWN	CHECKED

DATE: February 17, 2022
 JOB NO. SCALE: as shown

STATE OF GEORGIA
 1620 WASHINGTON ROAD
 THOMSON, GEORGIA
 ROBERT ALAN WILSON
 THOMSON LAND, LLC
 207 WASHINGTON ROAD
 SPARTANBURG, SC 29316

PLUMBING SUPPLY PLAN - HOT

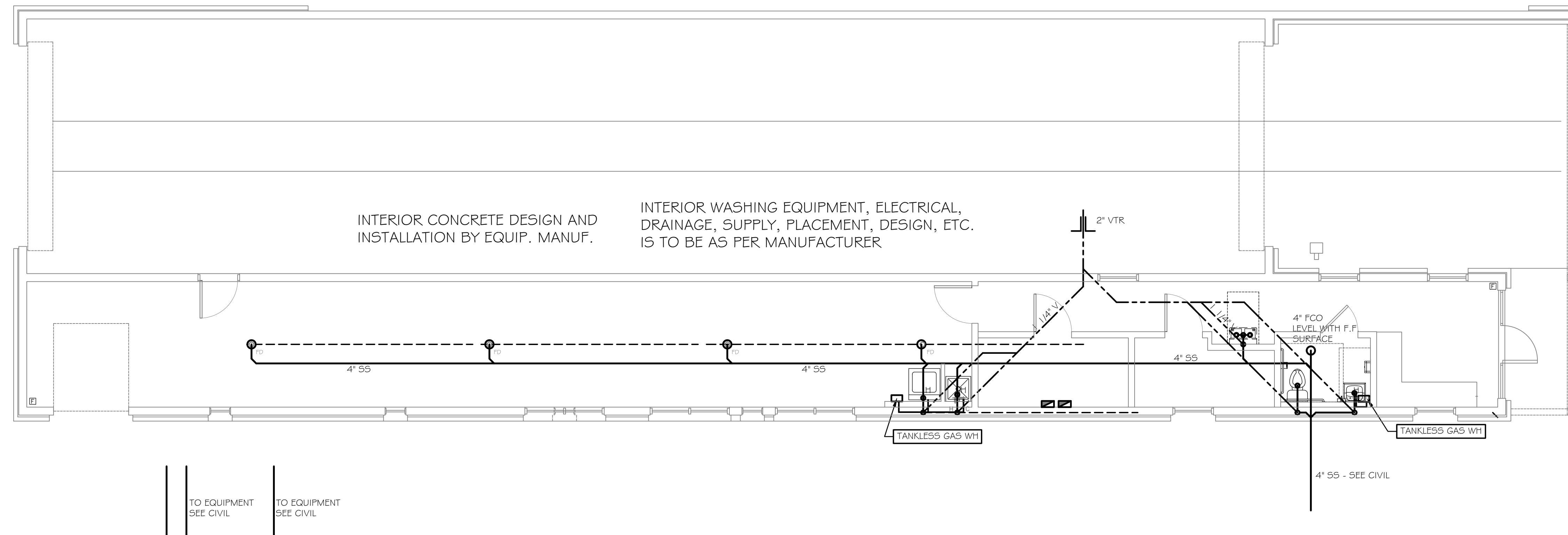


CONTACT A MINIMUM OF 72 HOURS PRIOR TO DIGGING
 UTILITIES PROTECTION CENTER
 1-800-282-7411

GEORGIA REGISTERED PROFESSIONAL ENGINEER
 No. 28372
 2-17-22
 MARK A. BOSWELL

DRAWING NUMBER

P-2



PLUMBING WASTE PLAN
3/16" = 1'-0"

**PLUMBING FIXTURE
MIN. SUPPLY AND DRAIN SIZES**

FIXTURE	CW	HW	SS	NOTES
CLOTHES WASHER	1/2"	1/2"	2"	NOTE 1 BELOW
BATHTUB/SHOWER	1/2"	1/2"	1 1/2"	NOTE 1 BELOW
DISHWASHER	1/2"	-	2"	NOTE 1 BELOW
DRINKING FOUNTAIN	1/2"	-	1 1/4"	NOTE 1 BELOW
SINK	3/4"	3/4"	2"	NOTE 1 BELOW
LAV	1/2"	1/2"	2"	NOTE 1 BELOW
HOSE BIBB SILLCOCK	3/4"	-	-	NOTE 1 BELOW
URINAL	3/4"	-	2"	NOTE 1 BELOW
WATER CLOSET (tank)	1/2"	-	3"*	NOTE 1 BELOW
WATER CLOSET (flushometer valve)	1"	-	-	NOTE 1 BELOW

1. ALL UNDER SLAB OR UNDERGROUND SS LATERALS ARE TO BE A MINIMUM OF 2" DIA.

* NO MORE THAN 2 WATER CLOSETS ALLOWED ON 3" DIA. SS LATERALS

SANITARY LINE SLOPES :

SIZE	IN/FT
<2 1/2"	1/4
3" TO 6"	1/8
>8"	1/16

NON-CAR WASH EQUIPMENT SCHEDULE

EQUIPMENT	MANUF.	MODEL	ELECTICAL	REMARKS
AHU	CARRIER	40MPHAQ09XA3	3 I AMPS EACH	MOUNTING HT. A.P.O.
CU	CARRIER	38MPRAQ09AA3	THROUGH AHU	
SIDEWALL FAN	GREENHECK	SDPE-D-14G-1-D5	6 AMPS EACH	TO HAVE CONTROLLER
HEAT	MARKEL	F3F5507T	9.1 AMPS EACH	WATER RATED
WASHER	A.P.O.	A.P.O.	23 AMPS	
HAND DRYER	A.P.O.	A.P.O.	8 AMPS	
TANKLESS GAS WH 1	RINNAI	V53DeN	1.2 A / 3A CB OR A.P.O.	
TANKLESS GAS WH 2	RINNAI	CU160i	4A / 10 A CB OR A.P.O.	
ROLL UPS	A.P.O.	A.P.O.	750 W EACH	WATER RATED

- EQUIPMENT MODEL NUMBERS, ETC. HAVE BEEN SELECTED BY OWNER.
- VERIFY ALL EQUIPMENT MOUNTING HEIGHTS, MODELS, ETC. WITH OWNER.
- A.P.O. = AS PER OWNER.

SPECIAL DEMOLITION AND CONSTRUCTION NOTES :

- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING WASTE AND WATER LINES PRIOR TO CONSTRUCTION.
- ANY DAMAGE TO EXISTING WATER AND WASTE LINES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- SAW CUT EXISTING SLAB TO A SMOOTH LINE, REMOVE CONCRETE AS REQUIRED FOR CONSTRUCTION, COMPACT AND REPLACE WITH 3,000 psi (min.) CONCRETE.
- CONSTRUCT PLUMBING WALLS WHERE REQUIRED.

SPECIAL AE AND VE ZONE NOTES :

- BUILDINGS IN 'AE' ZONES ARE TO HAVE THE FINISHED FLOOR SET A MINIMUM OF 1' ABOVE FLOOD.
- BUILDINGS IN 'VE' ZONES ARE TO HAVE THE LOWEST HORIZONTAL STRUCTURAL MEMBER SET A MINIMUM OF 1' ABOVE FLOOD.
- BUILDINGS IN AE AND VE ZONES ARE TO HAVE ALL ELECTRICAL, PLUMBING, HVAC, DUCTWORK AND OTHER EQUIPMENT TO BE A MINIMUM OF 1' ABOVE FLOOD.
- FLOOD VENTS ARE REQUIRED IN 'AE' ZONES AND ARE TO HAVE 1 SQUARE INCH / SQUARE FOOT OF FLOOR PLAN AREA WITH A MINIMUM ROUND OPENING OF 3"; A MINIMUM OF 2 OPENINGS WITH ALL OPENINGS EVENLY SPACED AROUND PERIMETER. BOTTOM OF OPENING SHALL BE 12" OR LESS ABOVE ADJACENT GRADE.
- BREAK AWAY WALLS ARE REQUIRED IN 'VE' ZONES.
- COORDINATE SITE WORK AND FINISHED FLOOR ELEVATIONS WITH ARCHITECTURAL PLANS TO MAKE SURE BUILDING ELEVATIONS ARE SET AS PER CODE.

SPECIAL EQUIPMENT NOTES :

- ALL MODEL NUMBERS OF PROCESS EQUIPMENT, LIGHTS, HVAC EQUIPMENT, FANS, ETC. HAVE BEEN SUPPLIED BY THE OWNER AND/OR THE EQUIPMENT MANUFACTURER.
- ALL ELECTRICAL LOADS AND CONNECTIONS, WATER SERVICE, WASTE LINES, ETC. HAVE BEEN SUPPLIED BY THE OWNER AND/OR THE EQUIPMENT MANUFACTURER.

STUDOR VENT NOTES :

- WHERE ALLOWED BY CODE, STUDOR VENTS MAY BE UTILIZED UNDER INDIVIDUAL SINKS IN LIEU OF CONNECTING VENT SYSTEM INTO ROOF VENT SYSTEM.

FIXTURE AND RECEPTACLE NOTE :

- MOUNTING HEIGHTS AND LOCATIONS FOR ALL RECEPTACLES, LIGHTING, EQUIPMENT, AND CABINETS TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
- LIGHT COLOR, WAVE LENGTH, ETC TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
- ALL LOW VOLTAGE FOR SECURITY, PHONES, CABLE, COMPUTERS, KEYPADS, ETC. ARE TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
- ALL EQUIPMENT, LIGHTS, CABINETS, PUMPS, ETC. ASSIGNED WITH THE PROJECT WERE SELECTED BY THE OWNER.

Permit Set

NO.	DATE	BY	DESCRIPTION

BOSWELL DESIGN SERVICES, INC.
OFFICE: 4700 EAST HIGHWAY 80
Unit N, Suite 1
MAILING: 103 NASSAU DRIVE
SAVANNAH, GEORGIA 31410
912 - 897 - 6932
LAHBOS@bellsouth.net

DESIGNED BY: MBS
DRAWN BY: MBS
DATE: February 17, 2022
JOB NO.:
SCALE: as shown

STATE OF GEORGIA
1620 WASHINGTON ROAD
THOMSON, GEORGIA
ROBERT ALAN WILSON
THOMSON LAND, LLC
205 WASHINGTON ROAD
SPARTANBURG, SC 29316

PLUMBING WASTE PLAN

CONTACT A MINIMUM OF 72 HOURS PRIOR TO DIGGING

UTILITIES PROTECTION CENTER
1-800-282-7411

GEORGIA
REGISTERED
Professional Engineer
No. 28372
2-17-22
MARK A. BOSWELL

DRAWING NUMBER
P-3
19 OF 20 SHEETS

PLUMBING NOTES:

- ALL WORK SHALL CONFORM TO ALL CURRENT LOCAL, STATE AND FEDERAL CODES INCLUDING THE CURRENT EDITION OF STANDARD PLUMBING CODE.
- EXTERIOR DOMESTIC WATER PIPING SHALL BE SCH. 40 PVC.
- INTERIOR WATER LINES SHALL BE PEX. (PEX A, B OR C IS ACCEPTABLE) OR ANY MATERIAL ALLOWED BY CODE.
- PROVIDE PDI RATED SHOCK STOPS OR 12" VERTICAL AIR CHAMBERS ONE SIZE LARGER THAN THE WATER LINE TO THE FIXTURE WITH HAMMER ARRESTORS FOR EACH HOT AND/OR COLD WATER LINE TO EACH ISOLATED FIXTURE, ITEM OF EQUIPMENT AND AT FIXTURE GROUPS. WATER HAMMER ARRESTORS SHALL BE IN ACCORDANCE WITH IPC 604.9.
- PROVIDE HOT AND/OR COLD WATER CUT OFF VALVES AT EACH PLUMBING FIXTURE AND ITEM OF EQUIPMENT.
- INSULATION - HOT/COLD WATER:
 - IN FLOOR JOISTS & EXT. WALLS-ROUTE INSIDE OF BLDG. INSUL.
 - ABOVE CEILING - NONE IF IN CONDITIONED SPACE.
 - EXPOSED BELOW FLOOR TO GROUND - ARMAFLEX.
 - IN CONCRETE SLAB ON GRADE - NONE REQUIRED.
- INTERIOR AND EXTERIOR WASTE AND VENT PIPING SHALL BE SCH. 40 PVC OR BAS WITH DRAINAGE PATTERN FITTINGS AND SOLVENT JOINTS.
- PAINT ALL VENTS WITH RUST INHIBITIVE FLAT ENAMEL ABOVE ROOF IN A COLOR TO MATCH THE ROOF.
- ALL WATER PIPE IN FIRE RATED WALLS SHALL BE PEX. ALL SANITARY SEWER LINES IN FIRE RATED WALL TO BE PVC. SEAL ALL POINTS OF PENETRATION w/3M FIRE-BARRIER CAULK OR EQUAL.
- ALL PENETRATIONS OF FIRE-RATED WALLS WITH A FIRE RATING OF MORE THAN ONE HOUR SHALL BE IN ACCORDANCE WITH AN APPROVED U.L. DESIGN TO BE APPROVED BY THE REVIEW AGENCY.
- WHEN REQUIRED, A NEW WATER METER SHALL BE CITY AND/OR COUNTY APPROVED TYPE.
- ~~GAS PIPING AND AIR PIPING SHALL BE BLACK STEEL, SCH. 40 WITH THREADED JOINTS.~~
- ~~PROVIDE GAS SHUT OFF VALVES AND UNION FITTINGS AT EACH EQUIPMENT CONNECTION.~~
- INSTALL A CALIBRATED PRESSURE RELIEF VALVE FOR THE CONTROL OF THERMAL EXPANSION ON THE HOT WATER SUPPLY LINE PREVIOUS TO THE PRESSURE RELIEF VALVE. WATTS Series 530 FP (50-175psi)

FIXTURES, FAUCET AND FIXTURE FITTINGS NOTES :

- ALL FIXTURE TYPES AND NUMBER OF FIXTURES SHALL BE AS PER CHAPTER 4 OF THE INTERNATIONAL PLUMBING CODE, 2018 EDITION.
- DRINKING FOUNTAIN SHALL BE INSTALLED AS PER SECTION 403.1 AND TABLE 403.1 OF THE INTERNATIONAL PLUMBING CODE, 2018 EDITION.
- ALL LAVATORIES SHALL CONFORM TO SECTION 416 OF THE INTERNATIONAL PLUMBING CODE, 2018 EDITION.
- ALL LAVATORIES SHALL BE PROVIDED WITH TEMPERED WATER AS PER SECTION 416.5 OF THE INTERNATIONAL PLUMBING CODE, 2018 EDITION.

SIDEWALL VENT NOTES:

- VENTS SHALL BE AS PER 2006 IPC CHAPTER 9 OR AS FOLLOWS.
- SIDEWALL VENTS SHALL TERMINATE A MIN. OF 10 FEET FROM ANY LOT LINE AND 10 FEET ABOVE THE AVERAGE GROUND LEVEL.
- SIDEWALL VENTS SHALL NOT TERMINATE UNDER OVERHANGS WITH SOFFIT VENTS.
- SIDEWALL VENTS SHALL HAVE PROTECTION TO PREVENT BIRDS OR RODENTS FROM ENTERING.

SPECIAL AE AND VE ZONE NOTES :

- BUILDINGS IN "AE" ZONES ARE TO HAVE THE FINISHED FLOOR SET A MINIMUM OF 1' ABOVE FLOOD.
- BUILDINGS IN "VE" ZONES ARE TO HAVE THE LOWEST HORIZONTAL STRUCTURAL MEMBER SET A MINIMUM OF 1' ABOVE FLOOD.
- BUILDINGS IN AE AND VE ZONES ARE TO HAVE ALL ELECTRICAL, PLUMBING, HVAC, DUCTWORK AND OTHER EQUIPMENT TO BE A MINIMUM OF 1' ABOVE FLOOD.
- FLOOD VENTS ARE REQUIRED IN "AE" ZONES AND ARE TO HAVE 1 SQUARE INCH / SQUARE FOOT OF FLOOR PLAN AREA WITH A MINIMUM ROUND OPENING OF 3". A MINIMUM OF 2 OPENINGS WITH ALL OPENINGS EVENLY SPACED AROUND PERIMETER. BOTTOM OF OPENING SHALL BE 12" OR LESS ABOVE ADJACENT GRADE.
- BREAK AWAY WALLS ARE REQUIRED IN "VE" ZONES.
- COORDINATE SITE WORK AND FINISHED FLOOR ELEVATIONS WITH ARCHITECTURAL PLANS TO MAKE SURE BUILDING ELEVATIONS ARE SET AS PER CODE.

GENERAL:

- "VERIFY" SHALL MEAN CHECK CONDITIONS ON SITE AGAINST DRAWINGS AND SPECIFICATION AND ADJUST WORK TO MATCH EXISTING, OBTAIN RULING FROM OWNER ON ANY ITEMS REQUIRING CLARIFICATION.
 - ALL PLUMBING EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND INSTALLED LEVEL, PLUMB AND RUN PARALLEL OR PERPENDICULAR TO THE BUILDING WALLS UNLESS INDICATED OTHERWISE.
 - CONTRACTOR SHALL SECURE ALL PERMITS, INSPECTION CERTIFICATES, AUTHORITY APPROVALS AND PAY ALL RELATED FEES AND CHARGES.
 - IT IS THE INTENT OF THESE SPECIFICATIONS TO PROVIDE FINISHED WORK, TESTED AND READY FOR OPERATION. ANY APPARATUS, APPLIANCE, OR MATERIAL WHICH MAY BE NECESSARY TO MAKE THE WORK COMPLETE AND FULLY OPERATIONAL, EVEN IF NOT EXPLICITLY STATED, SHALL BE PROVIDED FOR BY THE CONTRACTOR.
 - ALL PLUMBING WORK SHALL BE INSTALLED SO AS TO AVOID INTERFERENCE WITH ALL ELECTRICAL AND MECHANICAL WORK AND STRUCTURAL MEMBERS.
 - THE LOCATIONS OF UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES PRIOR TO START OF WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING ALL AREAS WHICH WERE DAMAGED BY HIS OPERATION.
 - ALL HORIZONTAL PIPING LINES EXTENDED AND CONNECTED TO EQUIPMENT SHALL BE RUN AT THE HIGHEST POSSIBLE ELEVATION AND NOT LESS THAN 6" ABOVE FINISHED FLOOR TO PROVIDE CLEARANCES FOR CLEANING.
 - EXACT LOCATIONS AND ROUGH-IN REQUIREMENTS FOR ALL FIXTURES AND EQUIPMENT SHALL BE DETERMINED FROM ARCHITECTURAL DRAWINGS. LARGE SCALE ARCHITECTURAL PARTICULAR ATTENTION SHALL BE DIRECTED TO FIXTURES OR EQUIPMENT FURNISHED BY OTHER TRADES.
- SANITARY AND VENT PIPING:**
- ALL SANITARY, GREASY WASTE AND VENT PIPING SHALL BE SCHEDULE 40 PVC, WITH PVC FITTINGS UNLESS THE LOCAL AUTHORITIES HAVING JURISDICTION REQUIRE CAST IRON.
 - COORDINATE WITH THE MECHANICAL CONTRACTOR TO ENSURE THAT SANITARY VENTS THROUGH ROOF MAINTAIN A MINIMUM OF 12" FROM ANY VERTICAL SURFACE AND 10'-0" FROM ANY FRESH AIR INTAKE TO THE BUILDING.
 - INVERT ELEVATIONS SHOWN SHALL BE VERIFIED ON THE JOB BEFORE INSTALLING ANY NEW PIPE.
 - REFER TO ARCHITECTURAL FINISH SCHEDULE AND ELEVATIONS FOR DETAILS OF FLOOR DRAINS AND CLEAN-OUT LOCATIONS.
 - ALL CLEAN-OUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE WITH EQUIPMENT, CABINETS, ETC. AND ARCHITECT PRIOR TO INSTALLATION.
 - CONDENSATE DRAIN PIPING:
 - CONDENSATE DRAIN PIPING SHALL BE GALVANIZED SCHEDULE 40 OR PVC FROM HVAC ON ROOF AND OTHER EQUIPMENT UNLESS STATED OTHERWISE.
 - CONTRACTOR SHALL FURNISH AND INSTALL 3/4" OR 1" COPPER CONDENSATE DRAINS ON COOLER / FREEZER EVAPORATOR COILS, WITH TRAP ASSEMBLY AND 2" AIR GAP ABOVE DRAIN AS SHOWN ON THE DRAWINGS. FREEZER CONDENSATE PIPING SHALL BE WRAPPED WITH HEAT TAPE WITH A MINIMUM RATING OF 10 WATTS PER LINEAR FOOT FOR ITS ENTIRE LENGTH WITHIN THE FREEZER COMPARTMENT.

GENERAL PLUMBING NOTES :

- INSTALL A CALIBRATED PRESSURE RELIEF VALVE FOR THE CONTROL OF THERMAL EXPANSION ON THE HOT WATER SUPPLY LINE PREVIOUS TO THE PRESSURE RELIEF VALVE. WATTS Series 530 FP (50-175psi)
- WATER HEATER SIZES AND CLEARANCES TO BE AS PER TABLE 506 OF THE 2018 GEORGIA AMENDMENTS.
- PROVIDE PDI RATED SHOCK STOPS OR 12" VERTICAL AIR CHAMBERS ONE SIZE LARGER THAN THE WATER LINE TO THE FIXTURE WITH HAMMER ARRESTORS FOR EACH HOT AND/OR COLD WATER LINE TO EACH ISOLATED FIXTURE, ITEM OF EQUIPMENT AND AT FIXTURE GROUPS. WATER HAMMER ARRESTORS SHALL BE IN ACCORDANCE WITH IPC 604.9.

WATER CLOSET NOTES:

- WATER AND WASTE SYSTEMS HAVE BEEN DESIGNED ASSUMING TANK TYPE TOILETS WILL BE UTILIZED.
- WATER SYSTEM MUST BE RE-WORKED IF FLUSHOMETER VALVE TYPE TOILETS ARE UTILIZED.
- RESTROOMS ARE EXISTING AND HAVE NOT BEEN RE-ROUTED FOR SUPPLY NOR WASTE.

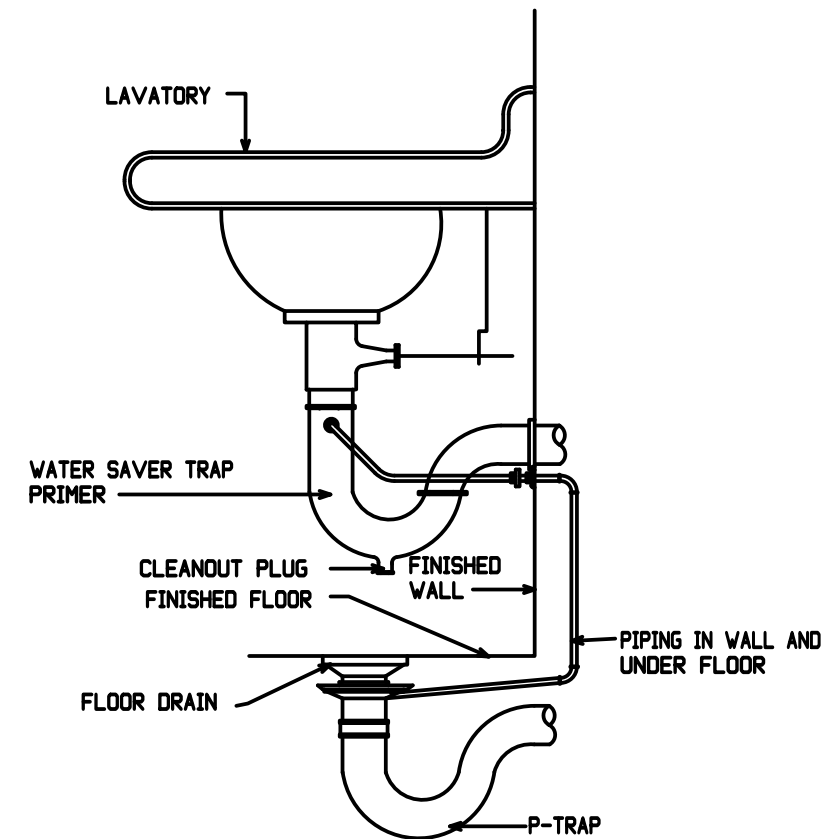
SPECIAL WATER LATERAL NOTES :

- ALL HOT AND COLD WATER SUPPLY LINES ARE TO BE 1/2" (min.) UNLESS OTHERWISE NOTED.

GENERIC PLUMBING NOTES

ALL PIPES SERVING SPACE-CONDITIONING SYSTEMS MUST BE INSULATED AS FOLLOWS:

- HOT WATER PIPING FOR HEATING SYSTEMS:**
 1 1/2 in. FOR PIPES <= 1 1/2 in. NOMINAL DIAMETER
 2 in. FOR PIPES > 1 1/2 in. NOMINAL DIAMETER
- CHILLED WATER, REFRIGERANT AND BRINE PIPING SYSTEMS:**
 1 1/2 in. INSULATION FOR PIPES <= 1 1/2 in. NOMINAL DIAMETER
 1 1/2 in. INSULATION FOR PIPES > 1 1/2 in. NOMINAL DIAMETER
- STEAM PIPING:**
 1 1/2 in. INSULATION FOR PIPES <= 1 1/2 in. NOMINAL DIAMETER
 3 in. INSULATION FOR PIPES > 1 1/2 in. NOMINAL DIAMETER
- EXCEPTION:** PIPE INSULATION IS NOT REQUIRED FOR FACTORY INSTALLED PIPING WITHIN HVAC EQUIPMENT.
- PIPE INSULATION IS NOT REQUIRED FOR PIPING THAT CONVEYS FLUIDS HAVING A DESIGN OPERATING TEMPERATURE RANGE BETWEEN 55 AND 105 DEGREES.
- PIPE INSULATION IS NOT REQUIRED FOR PIPING THAT CONVEYS FLUIDS THAT NOT BEEN HEATED OR COOLED THROUGH THE USE OF FOSSIL FUELS OR ELECTRIC POWER.
- PIPING WITHIN A ROOM FAN-COIL (with AHRI440 rating) AND UNIT VENTILATORS (with AHRI840 rating).
- PIPE INSULATION IS NOT REQUIRED FOR RUNOUT PIPING NOT EXCEEDING 4 ft. IN LENGTH AND 1 in. IN DIAMETER BETWEEN THE CONTROL VALVE AND HVAC COIL.



FLOOR DRAIN TRAP PRIMER-TYP. INSTALLATION DETAIL

NOT TO SCALE

FIXTURE AND RECEPTACLE NOTE :

- MOUNTING HEIGHTS AND LOCATIONS FOR ALL RECEPTACLES, LIGHTING, EQUIPMENT, AND CABINETS TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
- LIGHT COLOR, WAVE LENGTH, ETC TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
- ALL LOW VOLTAGE FOR SECURITY, PHONES, CABLE, COMPUTERS, KEYPADS, ETC. ARE TO BE VERIFIED BY OWNER PRIOR TO CONSTRUCTION AND INSTALLATION.
- ALL EQUIPMENT, LIGHTS, CABINETS, PUMPS, ETC. ASSIGNED WITH THE PROJECT WERE SELECTED BY THE OWNER.

SPECIAL EQUIPMENT NOTES :

- ALL MODEL NUMBERS OF PROCESS EQUIPMENT, LIGHTS, HVAC EQUIPMENT, FANS, ETC. HAVE BEEN SUPPLIED BY THE OWNER AND/OR THE EQUIPMENT MANUFACTURER.
- ALL ELECTRICAL LOADS AND CONNECTIONS, WATER SERVICE, WASTE LINES, ETC. HAVE BEEN SUPPLIED BY THE OWNER AND/OR THE EQUIPMENT MANUFACTURER.

SPECIAL DEMOLITION AND CONSTRUCTION NOTES :

- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING WASTE AND WATER LINES PRIOR TO CONSTRUCTION.
- ANY DAMAGE TO EXISTING WATER AND WASTE LINES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- SAW CUT EXISTING SLAB TO A SMOOTH LINE, REMOVE CONCRETE AS REQUIRED FOR CONSTRUCTION, COMPACT AND REPLACE WITH 3,000 psi (min.) CONCRETE.
- CONSTRUCT PLUMBING WALLS WHERE REQUIRED.

NOTE :

CONTRACTOR TO VERIFY LOCATIONS OF EXISTING BUILDING PLUMBING SYSTEMS PRIOR TO CONSTRUCTION.

NON-CAR WASH EQUIPMENT SCHEDULE

EQUIPMENT	MANUF.	MODEL	ELECTICAL	REMARKS
AHU	CARRIER	40MPHAQ09XA3	31 AMP5 EACH	MOUNTING HT. A.P.O.
CU	CARRIER	38MPRAQ09AA3	THROUGH AHU	
SIDEWALL FAN	GREENHECK	5DPE-D-14G-1-D5	6 AMP5 EACH	TO HAVE CONTROLLER
HEAT	MARKEL	PSF5507T	3.1 AMP5 EACH	WATER RATED
WASHER	A.P.O.	A.P.O.	23 AMP5	
HAND DRYER	A.P.O.	A.P.O.	8 AMP5	
TANKLESS GAS WH 1	RINNAI	V53DeN	1.2 A / 5A CB OR A.P.O.	
TANKLESS GAS WH 2	RINNAI	CU160i	4A / 10 A CB OR A.P.O.	
ROLL UPS	A.P.O.	A.P.O.	750 W EACH	WATER RATED

- EQUIPMENT MODEL NUMBERS, ETC. HAVE BEEN SELECTED BY OWNER.
- VERIFY ALL EQUIPMENT MOUNTING HEIGHTS, MODELS, ETC. WITH OWNER.
- A.P.O. = AS PER OWNER

Permit Set

REVISIONS	

BOSWELL DESIGN SERVICES, INC.
 OFFICE: 4700 EAST HIGHWAY 80
 Unit N, Suite 1
 MAILING: 103 NASSAU DRIVE
 SAVANNAH, GEORGIA 31410
 912-897-6932
 LAHBOS@bellsouth.net

CHECKED	DATE	SCALE
DESIGNED	DATE	SCALE
DRAWN	DATE	SCALE
MSB	February 17, 2022	as shown
DATE	JOB NO.	

STATE OF GEORGIA
 1640 WASHINGTON ROAD
 THOMSON, GEORGIA
 ROBERT ALAN WILSON
 THOMSON LAND, LLC
 2080 WASHINGTON ROAD
 SPARTANBURG, SC 29335

PLUMBING NOTES AND DETAILS

CONTACT A MINIMUM OF 72 HOURS PRIOR TO ISSUING

UTILITIES PROTECTION CENTER
 1-800-282-7411

DRAWING NUMBER
P-4
 20 OF 20 SHEETS

TOTAL AREA:
2.76 Ac.
120,396.62 Sq. Ft.
PID:0T080004

U.S. HWY 78 & SR. 10 & 17
WASHINGTON ROAD
100' PUBLIC R/W

100' PUBLIC R/W
100' PUBLIC R/W
100' PUBLIC R/W

BENCHMARK: #4RBF
n:1273475.4962
e:554009.0667
elev:509.53

PILOT POINTS
- N/4 SECTION 10
& FULL SECTION 11
ON 556 TO 36

PILOT POINTS
- N/4 SECTION 10
& FULL SECTION 11
ON 556 TO 36

STOP SIGN AND STOP BAR INSTALLATION NOTES:
1. STOP SIGNS ARE TO BE WHITE, 24" WIDE x 12" HIGH, INSTALLED 50' FROM THE INTERSECTING ROAD ALIGNMENT EDGE AS PER MUTCD 2E.11.1.
2. STOP BARS ARE TO BE INSTALLED ALIGNED WITH THE STOP SIGNS AS PER MUTCD 2E.11.1.

SPECIAL HANDICAP RAMP NOTES:
1. ALL HANDICAP RAMP SHALL BE CONSTRUCTED AND FINISHED AS PER ADA REGULATIONS AND REQUIREMENTS.

PAVEMENT MARKING NOTES:
1. ALL SIGNALING AND STRIPING SHALL BE IN ACCORDANCE WITH THE STANDARD ON UNIFORM TRAFFIC CONTROL DESIGN (MUTCD).

SPECIAL SIGNAGE AND STRIPING NOTES:
1. STOP SIGNS SHALL BE HIGH INTENSITY OR DIAMOND GRADE.
2. PAVEMENT MARKINGS ARE TO BE THERMOPLASTIC.
3. ALL SIGNS ARE TO BE IN ACCORDANCE WITH MUTCD.

SITE FIRE PROTECTION NOTES:
1. ACCESS FOR FIREIGHTING SHALL BE MAINTAINED AT ALL TIMES. APPROVED VEHICLE ACCESS FOR FIREIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS CAPABLE OF SUPPORTING VEHICLE TRAFFIC UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ROADS ARE AVAILABLE.
2. FIRE LAKE SIGNS SHALL BE SPACED AT A MINIMUM OF 500 FEET APART, SIZE TO BE 12" x 18" WITH A WHITE REFLECTING BACKGROUND AND RED LETTERS AND SHALL READ AS FOLLOWS: FIRE LAKE - NO PARKING - TOWAWAY ZONE.
3. AS PER FIRE CODE, FIRE FIGHTING APPARATUS MUST BE ABLE TO ACCESS TO WITHIN 150' OF ANY PART OF BUILDING.

FIRE PROTECTION WATER:
1. RETAIL - IN OCCUPANCY SECTION ROAD
2. SUBURBAN - THROUGH PROTECTION IS NOT REQUIRED AS PER FIRE DEPARTMENT AND PROTECTION IS NOT LISTED IN THE 2012 IFC

STRENGTH SUPPLY ENFORCEMENT NOTES:
1. NEW STRUCTURES ON THIS PROJECT DO NOT EXCEED IN THE 10 OR 20 FOOT STRENGTH SUPPLY.
2. MODIFICATION ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 10 OR 20 FOOT STRENGTH SUPPLY AS REQUIRED FROM THE POINT OF IMPACTED VEGETATION WITHOUT FIRST OBTAINING THE NECESSARY VARIANCES AND PERMITS.

GENERAL NOTES:
1. DIMENSIONS ARE IN FEET AND DECIMALS OF FEET UNLESS NOTED OTHERWISE.
2. LOCUS OF CORNERS AND GRADING SHALL MATCH THE PROPERTY LINE BOUNDARY OR AS SHOWN ON THE PLANS. COORDINATE ALL CORNER ACTIVITIES WITH THE ENGINEER/OWNER.
3. ALL CORNERS AND BOUNDARY SHOWN ARE BASED ON A SITE COORDINATE SYSTEM. CONTRACTOR SHALL VERIFY PRIOR TO THE START OF CONSTRUCTION.
4. BOUNDARIES SHALL BE VERIFIED BY THE CONTRACTOR AS TO LOCATION AND EXTENSION PRIOR TO THE START OF CONSTRUCTION.
5. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL VERIFY THAT CORNERS AND DIMENSIONS MATCH WITH THE RECORDS AND FIELD SURVEY AS SHOWN. ANY DISCREPANCY WITH DIMENSIONS AND COORDINATES OR PROPERTY LINES SHALL BE ADVISED AND APPROVED BY THE ENGINEER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVELOPING HORIZONTAL AND VERTICAL CONTROL ON THE SITE BASED ON CONTROLled POINTS. ALL CORNERS INVOLVED IN LOCATING THE DIMENSIONS AND CARRYING THE DIMENSIONS BACK TO THE SITE SHALL BE BORNE BY THE CONTRACTOR.
8. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND FOR AVOIDING CONFLICT WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
9. CONTRACTOR TO VERIFY ACTUAL BUILDING DIMENSIONS WITH ARCH. PLANS.
10. ALL EARTH ARE TO BE UNLESS OTHERWISE NOTED.

SPECIAL CONSTRUCTION NOTES:
1. THE CONTRACTOR ENGINEER OR LAW REASONABLY BE EXPECTED TO HAVE KNOWN OF ALL DISCREPANCIES OR CONFLICTS IN THE PLANS, SPECIFICATIONS OR CONSTRUCTION ORDERING AND SHALL TO REPORT THE DISCREPANCY TO CONSTRUCTION. HE SHALL NOT BE DEEMED TO CONSTRUCTION FOR ANY WORK OR EXPENSE INCURRED BY HIM FOR WORK REQUIRED TO BE RECONSTRUCTED BECAUSE OF SUCH DISCREPANCY, DISCREPANCY OR CONFLICT.

Permit Set SCALE: 1" = 30'

SPECIAL DEMOLITION NOTES:
1. CONTRACTOR IS TO VERIFY EXISTING ELECTRICAL WIRING AND REMOVE ALL ELECTRICAL WIRING NOT IN USE.
2. CONTRACTOR IS TO REMOVE ALL ELECTRICAL COMPONENTS ON THE PROJECT SITE TO INCLUDE BUT NOT LIMITED TO: PANELS, MOUNTS, UNDERGROUND AND OVERHEAD WIRING, ETC.
3. CONTRACTOR TO VERIFY AND COORDINATE ALL ELECTRICAL COMPONENTS AND WIRING AND COORDINATE ALL REMOVAL, RELOCATION, ETC. WITH UTILITY PROVIDER.

TEMPORARY EROSION CONTROL AND DISCHARGE NOTES:
1. ALL ROAD CUTTINGS, DITCHES AND ETC. ARE TO BE COORDINATED WITH CITY OF THOUSAND OAKS.
2. ANY AND ALL NECESSARY PERMITS MUST BE OBTAINED FROM THE CITY OF THOUSAND OAKS TO COMMENCEMENT OF ANY WORK.
3. CONTRACTOR IS TO OBTAIN & MAINTAIN PERMITS TO REWORKING ANY WORK WITHIN CITY OF THOUSAND OAKS OF AREA.
4. CALCULATED DISCHARGED WATER SHALL NOT BE DISCHARGED INTO THE WASTEWATER SYSTEM.

SPECIAL PERMIT NOTES:
1. CITY OF THOUSAND OAKS COMMERCIAL LAND USE PERMITS WILL BE REQUIRED.
2. CITY OF THOUSAND OAKS MAY PERMITS WILL BE REQUIRED FOR ALL CONSTRUCTION ACTIVITY WITHIN CITY OF THOUSAND OAKS OF AREA.

GREENSPACE CALCULATIONS:
TOTAL SITE AREA = 120,396.62 SQ. FT.
PAVEMENT / IMPERVIOUS SURFACE AREA = 100,000 SQ. FT.
GREENSPACE = 120,396.62 - 100,000 = 20,396.62 SQ. FT.
1.00 AC = 43,560 SQ. FT.
20,396.62 / 43,560 = 0.468 GREENSPACE

PARKING CALCULATIONS:
OFFICE = 10,000 SF
WAREHOUSE = 10,000 SF
TOTAL = 20,000 SF
REQUIRED PARKING (OFFICE) = (10,000 SF / 300 SF) = 33 SPACES
REQUIRED PARKING (WAREHOUSE) = (10,000 SF / 300 SF) = 33 SPACES
TOTAL REQUIRED PARKING SPACES = 66 SPACES
HANDICAP SPACES REQUIRED = 4 SPACES
TOTAL PARKING SPACES = 70 SPACES
VAN/ACCESSIBLE SPACES REQUIRED = 4 SPACES
(1 VAN/ACCESSIBLE / 8 H.C. SPACES AS PER ADA 2012) AS
PARKING SPACES BASED ON CITY OF THOUSAND OAKS PARKING SURVEY, ASSUMING A VEHICLE TRAVEL FACILITY OCCUPANCY

FEMA MAP NOTES:
1. THIS DEVELOPMENT IS WITHIN FLOOD ZONE AREA 'X' ACCORDING TO FLOOD COMMUNITY PANEL NUMBER 131 (FLOOD ZONE MAP REVISED 6/14/13) BOUNDARY.
2. THIS SITE IS IN ZONE 'X' AND IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE.
3. CONTRACTOR IS TO VERIFY FEMA REGULATIONS PRIOR TO ANY CONSTRUCTION ACTIVITIES.

BOSWELL DESIGN SERVICES, INC.
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912-897-4003
LATES@boswell.com

SHINE ON CAR WASH
1610 WASHINGTON ROAD
THOUSAND OAKS, CALIFORNIA
THOMSON LANG, LLC
THOMSON LANG, LLC
SHARITANBURG, SOUTH CAROLINA 29316
STAKING AND SIGNING PLAN



Drawing Number
C-4
4 OF 28 SHEETS

STAFF REPORT

COMMISSIONERS' MEETING: April 19, 2022

DATE: April 13, 2022
TO: McDuffie County Board of Commissioners
FROM: Chase N. Beggs, Planning & Zoning Director *CNB*
ISSUE: Consideration to approve a rezoning request with conditions to rezone 13.6 acres, Parcel 00420081, Wrens Highway, Thomson, GA 30824 from R-2 (Medium Density Residential) to I-1 (Light Industrial) for the use of C&H Paving as a storage yard only.

CURRENT ZONE: R-2 (Medium Density Residential)
PROPOSED ZONE: I-1 (Light Industrial)
ACREAGE: 13.6 Acres

BACKGROUND: Canaan Cranford submitted an application requesting to rezone 13.6 acres along Wrens Highway and the Thomson East Bypass. The property is currently zoned for residential use and is surrounded by residential property. The applicant would like to use the property for the family's business, C&H Paving, to store heavy machinery and trucks. The intended use would need to be located in an industrial zoned area.

PLANNING BOARD RECOMMENDATION: Yays 3, Nays 3 – A recommendation was not provided since the planning board vote was a tie.

FACTS AND FINDINGS:

1. The property was a timber tract until it was recently cleared.
2. The property is surrounded by two subdivisions, rural farms, and Sweetwater Baptist Church.
3. The property is located on the edge of two character areas as defined by the McDuffie County Comprehensive Plan. Everything North of the Thomson East Bypass is "Urban Reserve" which promotes high-density residential developments with interconnectivity to the City of Thomson. Everything South of the Thomson East Bypass is "Countryside" which promotes low-density residential, agriculture, and forestry to remain rural in character.
4. The applicant has not submitted a development plan of the entire parcel.
5. The planning board stated that a condition of the rezoning to Industrial was that it be used for C&H Paving only. Any other use would need to come back thru zoning.

ALTERNATIVES:

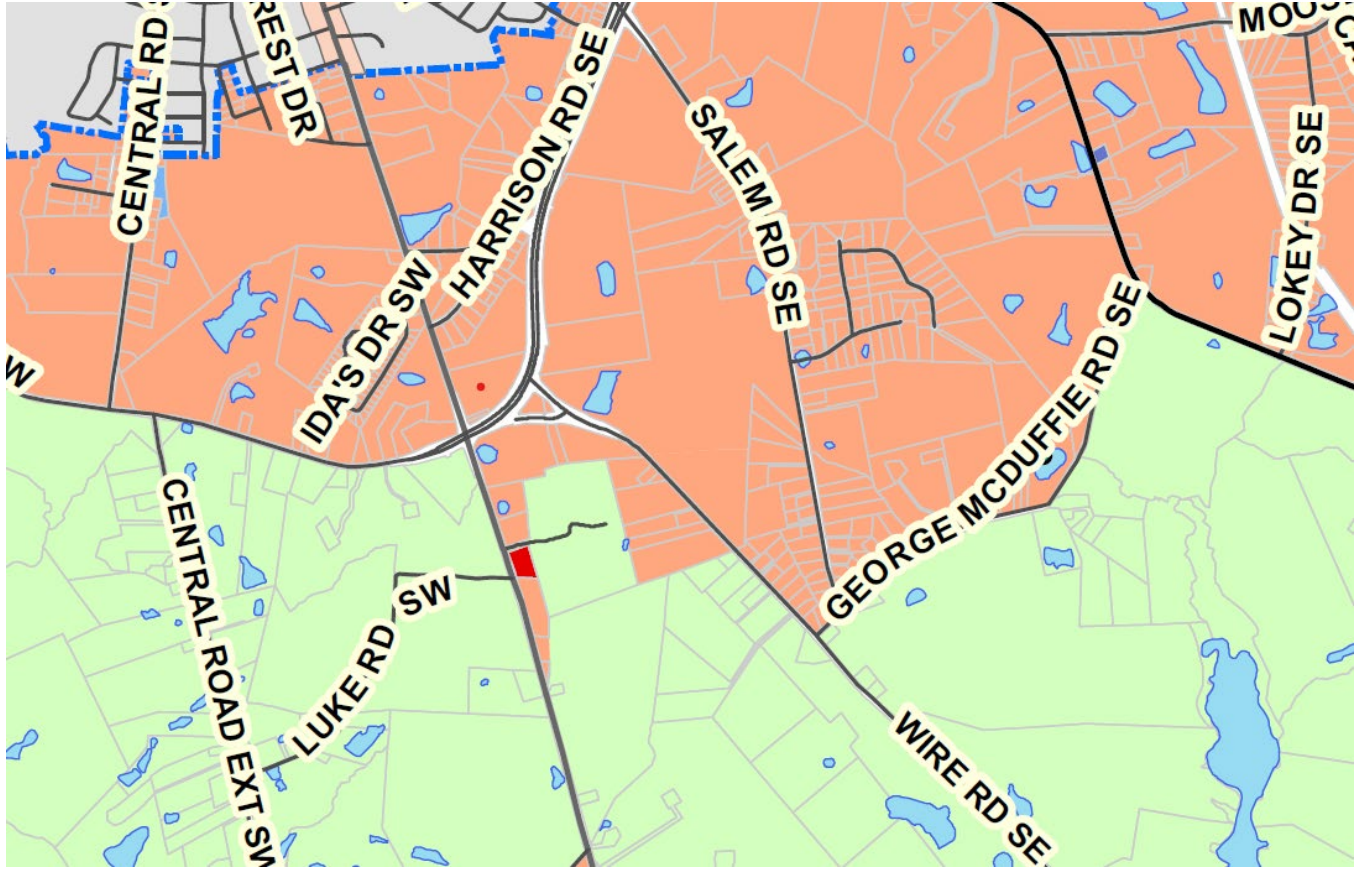
1. The Board **approves** the rezoning request with the stipulation that the rezoning is only for a storage yard for C&H Paving. Any other intended commercial or industrial use must come back before the planning board and BOC.
2. The Board **denies** the request to rezone the property.

RECOMMENDATION: Staff recommends the Board adopt alternative #1 and approve the rezoning request with the condition that the property only be used for equipment storage.

ATTACHMENTS:

- 1. Aerial of Tax Map**
- 2. Zoning Map**
- 3. Character Areas**





Urban Reserve

Description:

The Urban Reserve character area surrounds the urbanized area of Thomson. Currently, rural residential and commercial development are the primary uses in this area. Single-family attached, town-homes and condo developments would be appropriate.



Appropriate Land Uses:

High-density Residential

Implementation Measures:

- Encourage pedestrian-oriented street design
- Create street interconnectivity
- Incorporate bicycle/pedestrian facilities





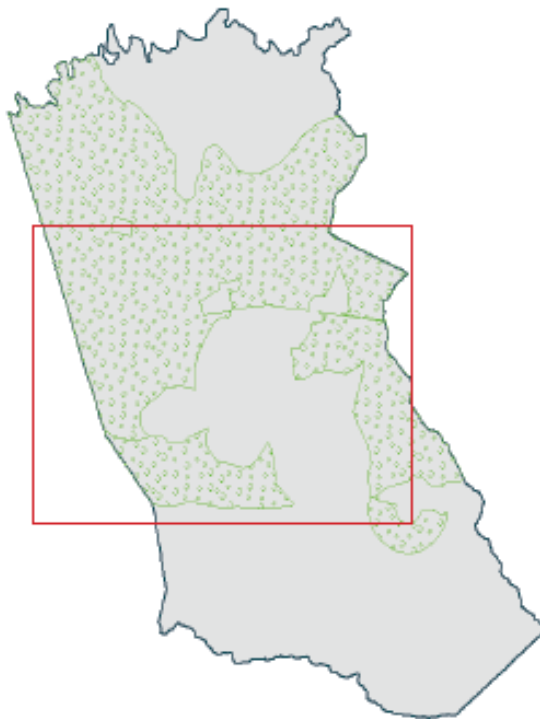
Countryside

Description:

The Countryside character area is predominantly rural, undeveloped land that is used for agriculture or rural residential. Future development in the Countryside character area should strive to retain the rural character through the preservation of open spaces. Large lot residential, clustered residential development and agricultural uses should continue to be the preferred development pattern within the area. Clustered development is the grouping of residential properties on a development site in order to use the extra land as open space, recreation or agriculture.

Appropriate Land Uses:

Agriculture/Forestry
 Low Density Residential (Medium-sized) lots with clustered development
 Passive Recreation



Implementation

- Target infrastructure expansion, particularly in eastern areas of the county.
- Promote timber harvesting with guidelines for replanting.
- Emphasize cluster subdivision design that incorporates a significant amount of open space.
- Utilize the recreational trails plan and connect to bike routes whenever possible.



STAFF REPORT

COMMISSIONERS' MEETING: April 19, 2022

DATE: April 15, 2022
TO: Board of Commissioners
FROM: Chase N. Beggs, Planning & Zoning Director *CNB*
ISSUE: Consideration to deny a proposed subdivision, Cooper Place, with variance requests to lot size and setbacks on Cobbham Road, Thomson, GA 30824, parcel 00510006.

BACKGROUND: South Georgia Custom Homes submitted an application to subdivide 109 acres along Cobbham Road with variances to the 0.5 acre lot requirement and side and side setback requirement. **The property lies within McDuffie County's "Suburban Reserve" Character Area (see attached explanation of the Urban Reserve Character Area).**

PLANNING BOARD RECOMMENDATION: Yays 2, Nays 4 -- The Planning Board made a recommendation to deny the subdivision request and variances for the subdivision.

FACTS AND FINDINGS:

1. The 109-acre subdivision would contain 152 quarter-acre lots and 36 half-acre lots. The developer is requesting an 85-foot front setback and 15-foot side setback.
2. The property adjoins Elias Station and is near Interstate 20, Exit 175.
3. The developer plans to include 38 acres of open space including; 29 acres of greenspace, 3 acres of recreation space, and 8 acres of undisturbed buffer space.
4. All lots will be served by water and sewer which will be installed by the developer.
5. The developer has redrawn the development layout to include more recreation space, landscaping along Cobbham Road, a mixture of larger lots, and a 100' undisturbed buffer along the lots on Brinkley Drive to give those homes more privacy.
6. Subdivision approval is required by McDuffie County ordinance. If the developer is requesting variances to the Land Development Code, the Planning Board and Board of Commissioners have the ability to place conditions on the approval.

ALTERNATIVES:

1. The Board approves the Planning Board's recommendation to **deny** the variance and subdivision request.
2. The Board **approves** the subdivision review and request for variances with conditions.

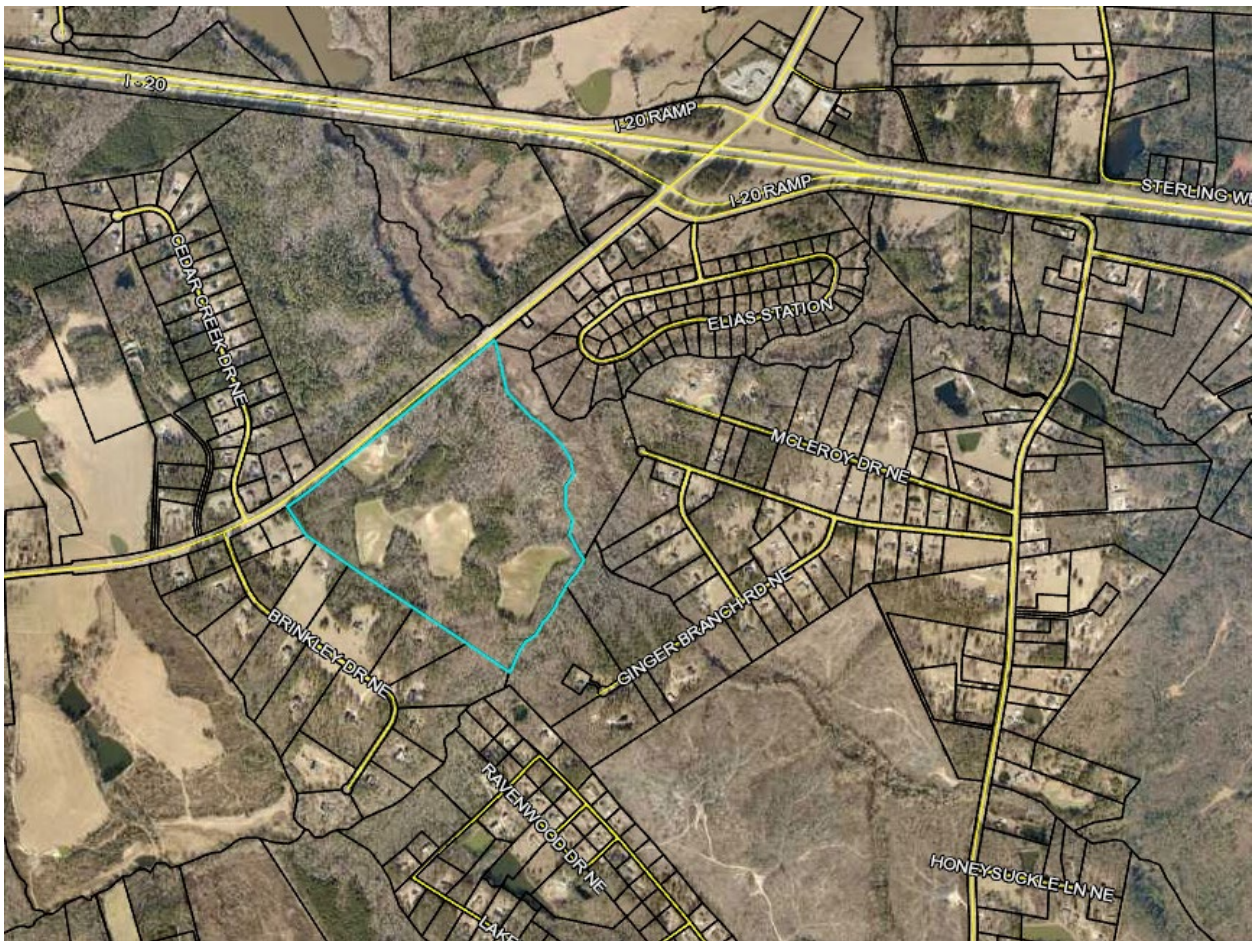
STAFF RECOMMENDATION: Staff recommends the Board adopt alternative #2 and approve the subdivision layout and the variances requested with the following conditions:

1. An undisturbed buffer of 100-foot be maintained along the Western boundary which abuts the existing lots on Brinkley Drive.
2. Road frontage along Cobbham Road be landscaped to screen the backyards of homes from sight along road.

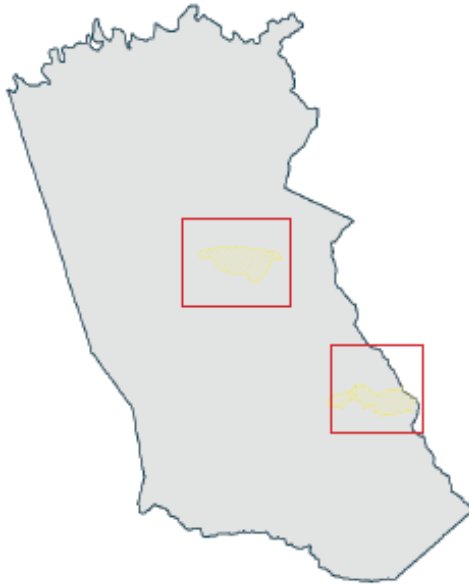
3. All homes built in the subdivision be stick-built, a minimum of 2,000 square feet, and 50% of facades be either standard clay brick, stone, or other masonry siding.
4. All exterior and corner lots be a minimum of 0.5 of an acre
5. Minimum of two entrances to be approved in accordance with Georgia DOT standards and McDuffie County subdivision ordinance requirements.

ATTACHMENTS:

1. Tax map aerial
2. Page from McDuffie County's Comprehensive Plan – Character Area Urban Reserve
3. Planning Board Minutes
4. Subdivision Lot Layout



Suburban Reserve



Description:

The Suburban Reserve character area is comprised of developed and undeveloped areas of the county within close proximity to Dearing and Thomson that are intended for low to moderate density residential land uses. The area allows for flexibility in residential building design, but encourages street block and lot arrangements that promote interconnectivity between tracts.

Appropriate Land Uses:

Residential
Parks And Recreation
Passive Recreation

Implementation Measures:

- Promote a variety of architectural styles and housing types
- Create targeted open space and pocket parks in/near neighborhoods
- Establish collector street standards for large developments and in targeted areas
- Incorporate bicycle and pedestrian features with direct linkages to community facilities
- Encourage street linkages between arterials and adjacent development tracts



Plan is Available in These Neighborhoods

- Greenpoint (Harlem, GA)

Square Feet: 2294
Bedrooms: 4
Bathrooms: 2.5
Home Style: 2 Story

Floor Plan Features

- Upstairs Laundry Room
- Large Kitchen Island



RENDERING

Plan is Available in These Neighborhoods

- Austin Heights (N. Augusta, SC)
- Greenpoint (Harlem, GA)
- Jackson Heights (Grovetown, GA)
- Wicklow@Canterbury Farms (Grovetown, GA)
- Whispering Pines (Evans, GA)

Square Feet: 2628
Bedrooms: 5
Bathrooms: 3
Home Style: 2 Story

Floor Plan Features

- Upstairs Laundry Room
- 5th Bedroom/Bonus Room Downstairs



RENDERING

Plan is Available in These Neighborhoods

- Not currently available in any of our neighborhoods

Square Feet: 2,503
Bedrooms: 3
Bathrooms: 2
Home Style: 2 Story

Floor Plan Features

- Finished Bonus Room



RENDERING

Plan is Available in These Neighborhoods

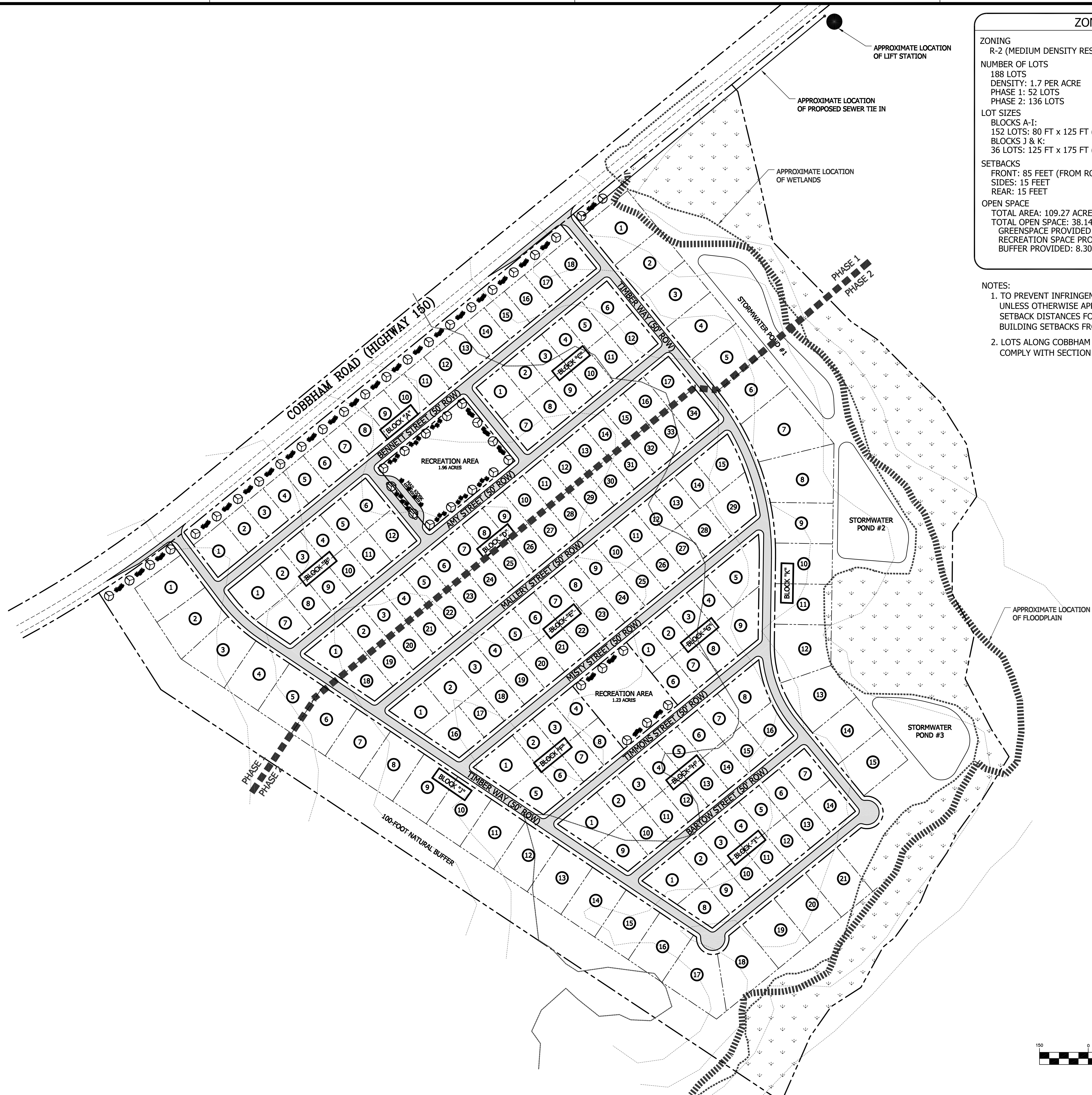
- Jackson Heights (Grovetown, GA)
- Greenpoint (Harlem, GA)
- Wicklow@Canterbury Farms (Grovetown, GA)

Square Feet: 1996
Bedrooms: 4
Bathrooms: 2 1/2
Home Style: 2 Story

Floor Plan Features

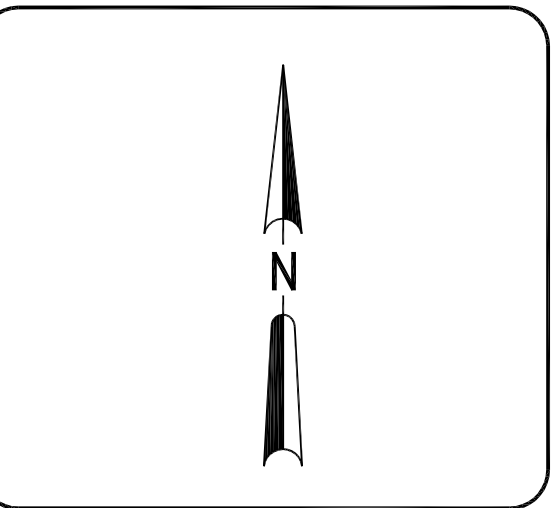
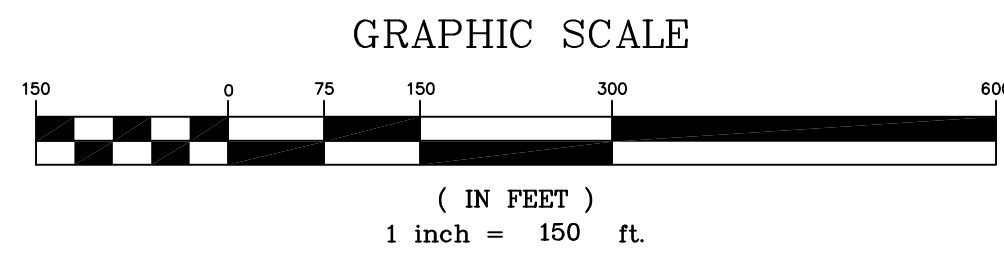
- Island in Kitchen with Sink

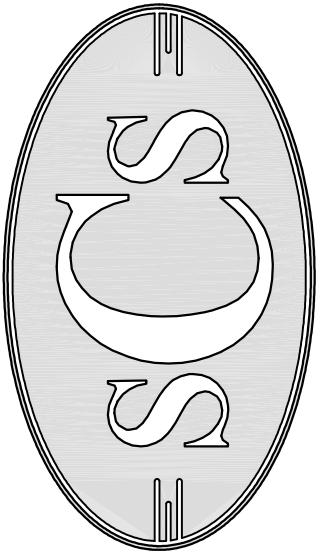




ZONING SUMMARY	
ZONING	R-2 (MEDIUM DENSITY RESIDENTIAL)
NUMBER OF LOTS	188 LOTS
DENSITY:	1.7 PER ACRE
PHASE 1:	52 LOTS
PHASE 2:	136 LOTS
LOT SIZES	
BLOCKS A-I:	152 LOTS: 80 FT x 125 FT (10,000 SQ. FEET)
BLOCKS J & K:	36 LOTS: 125 FT x 175 FT (21,875 SQ. FEET)
SETBACKS	
FRONT:	85 FEET (FROM ROAD CENTERLINE)
SIDES:	15 FEET
REAR:	15 FEET
OPEN SPACE	
TOTAL AREA:	109.27 ACRES
TOTAL OPEN SPACE:	38.14 ACRES
GREENSPACE PROVIDED:	29.39 ACRES
RECREATION SPACE PROVIDED:	3.19 ACRES
BUFFER PROVIDED:	8.30 ACRES

- NOTES:
- TO PREVENT INFRINGEMENT OF SIGHT LINES AT INTERSECTIONS, UNLESS OTHERWISE APPROVED BY THE ZONING CODE, THE BUILDING SETBACK DISTANCES FOR CORNER LOTS SHALL BE THE MINIMUM BUILDING SETBACKS FROM THE CENTERLINE OF BOTH ROADS/STREETS.
 - LOTS ALONG COBBHAM ROAD HAVE DUAL FRONTAGE AND MUST COMPLY WITH SECTION 74-107(D).




Southern Civil Solutions, LLC
Civil Engineering, Planning & Design • Stormwater Management • Erosion Control Inspections
 Email: southciv@scsolutionsllc.com • Phone: (706) 836-6348

REV. NO.	DATE	DESCRIPTION
4	04/12/2022	INCREASED NATURAL BUFFER TO 100-FEET
3	03/31/2022	ADDED INTERIOR RECREATION AREA, REVISED LOT SIZES
2	02/15/2022	ADDED PHASE LINE
1	02/01/2022	CLIENT REVIEW

RELEASE DATE: JANUARY 28, 2022
 SHEET REVISIONS

SOUTH GEORGIA HOMES, LLC
 233 DAVIS ROAD - SUITE G, AUGUSTA, GA 30907

COOPER PLACE RESIDENTIAL SUBDIVISION

CONCEPTUAL LAYOUT

SCS PROJECT NUMBER: 007.001.0 PROJECT LOCATION: MCDUFFIE COUNTY, GEORGIA
 DRAWING INFORMATION

DRAWING NUMBER

PC1.1

Dr. Alphee J.T. Bouffard

April 15, 2022

Chase N. Beggs
Planning and Zoning Director
210 Railroad Street
Suite 1544
Thomson, GA 30824
Chasebeggs@thomson-mcduffie.gov

Re: South Georgia Custom Homes, as "Cooper Place Residential Subdivision"

Dear Planning Board

McDuffie County is in need of WELL PLANNED neighborhoods.

In Reviewing the proposed Route 150 Subdivision for "South Georgia Custom Homes", known as "Cooper Place Residential Subdivision", which appeared in the McDuffie Progress on April 14, 2022:

This proposal is again WITHOUT MERIT and a flagrant **DECEPTION**. The Cooper Place Residential Subdivision **MISREPRESENTS** an attempt to decrease density of the number of homes by **INCREASING** the size of the perimeter lots and maintaining the same unacceptable clustering within the development (see "ZONING SUMMARY" INSERT). As specified in BOTH the previous board document and the April 14 document, the "Back Yards have a depth of 15 feet. **FIFTEEN FEET OF BACKYARD!** No frontage increase.

The decrease of two homes on a street of 34 homes, in phase 1, provides no additional spacing, buildings remain 15 feet on the sides and REAR. Do not be **DECEIVED!!!**

Dr. Alphee J.T. Bouffard

The increase in land on average per home in the entire development as presented, DOES NOT translate into larger lots per home in the interior, as the “ZONING SUMMARY” indicates. *This is a misleading average calculation for the entire project.*

In contacting the Corp of Engineers for the 404 permit and the required for the study, the wetland margin should be called into question. Apparently the Beaver dams have caused an expansion of the wetland (visible from the Rte. 150 Bridge).

We can expect the phase one and two lot size to diminish along the wetland perimeter, therefore returning this new proposal to the same density of homes. The new Phase One contains 6 fewer homes on each end. And the large lots command a premium price. Who is this market for?

Would a purchaser consider a significantly larger and more expensive home with a DOWN the ALLEY view of 34 “BACKYARDS” 15 feet apart, respectively?

Sincerely,

Dr. Alphee J.T. Bouffard

Dr. Alphee J.T. Bouffard

Ordinance No.: 22-01

ORDINANCE OF THE BOARD OF COMMISSIONERS OF MCDUFFIE COUNTY, GEORGIA AMENDING CHAPTER 74, SUBDIVISIONS, ARTICLE IV, MINIMUM STANDARDS FOR IMPROVEMENTS, SECTION 74-187, REQUIRED IMPROVEMENTS, (G) FIRE HYDRANTS; TO PROVIDE FOR AN EFFECTIVE DATE AND TO REPEAL ANY CONFLICTING ORDINANCES.

THIS ORDINANCE is adopted by the Board of Commissioners of McDuffie County, Georgia (the “Board”).

WHEREAS, the Board desires to amend certain provisions of the McDuffie County Code of Ordinances pertaining to installation of fire hydrants in new developments; and

WHEREAS, the Board desires to amend Chapter 74, Subdivisions, Article IV, Minimum Standards for Improvements, Section 74-187, Required Improvements, (g) Public water systems (5) Fire Hydrants; and

NOW, THEREFORE, BE IT ORDAINED by the Board, and it is hereby ordained by the authority of the same as follows:

Section 1. Amending of Ordinances. Chapter 74, Subdivisions, Article IV, Minimum Standards for Improvements, Section 74-187, Required Improvements, (g) Public water systems, (5) Fire Hydrants, is hereby amended to read as set forth in Exhibit “A” attached hereto and made a part hereof.

Section 2. Repeal of Conflicting Ordinances. All ordinances or parts of ordinances previously adopted by the Board of Commissioners of McDuffie County, Georgia which are in conflict with this ordinance are hereby repealed to the extent necessary to eliminate such conflict.

Section 3. Effective Date. This Ordinance shall become effective upon the date of its adoption.

ADOPTED, this _____ day of _____, 2022, following approval on a first and second reading.

BOARD OF COMMISSIONERS OF
MCDUFFIE COUNTY, GEORGIA

By: _____
Its Chairman

Attest: _____
Its Clerk
[COUNTY SEAL]

Exhibit A

Chapter 74 - Subdivisions

Article IV. Minimum Standards for Improvements, Section 74-187

ARTICLE IV. – MINIMUM STANDARDS FOR IMPROVEMENTS

Sec. 74-187. – Required Improvements.

Sec. 74-187. Required improvements.

Subdivision improvements which are subject to section 74-186, immediately above include, but are not limited to, the following:

(g) *Public water systems***(R)**.

- (1) All subdivisions (including all phases) shall be connected to an existing public water system if service is available within the following distances:

Size of Development	Distance to Public Water ¹
2 Lots	200 Feet
3-5 Lots	400 Feet
6-10 Lots	600 Feet
11-25 Lots	1,000 Feet
26-50 Lots	1,400 Feet
51-100 Lots	1,800 Feet
101 + Lots	2,100 Feet

¹ As measured from the closest water main to the nearest subdivision perimeter property line.

- (2) *Future water lines.* When it has been confirmed that the county will be installing water lines within certain areas of the county, any new subdivisions developed within those area may be required by the planning commission or board of commissioners to install capped "dry lines" within the development. Dry lines shall be required to tap into the new county water line upon installation and activation.
- (3) *Private water wells.* Where public water is not available, private water wells shall be permitted as approved by the county health officer and other agencies having jurisdiction over such matters.
- (4) *Community water systems.* Private community or group water systems are prohibited.
- (5) *Fire hydrants.* Fire hydrants shall be provided as engineered with a separation of not greater than ~~4,000~~ 800 feet for residential use and 500 feet for commercial and industrial use. Final grading around fire hydrants shall not be less than 36 inches below the center of the largest horizontal supply hub of the hydrant with the uniform grade extending outward from the hydrant for a radius of not less than six feet. Hydrant grading requirement shall also include hub clearance from such subdivision improvements as the top side of any curbing, sidewalks, etc.



**The McDuffie County Board of Commissioners held a Regular Commission Meeting
Tuesday Evening, March 15, 2022, 6:30 pm
Government Center Meeting Room**

COMMISSIONERS PRESENT:

**Charles Newton, IV, Chairman
Sammie Wilson, Vice Chairman
Bill Jopling, Commissioner
Frederick Favors, Commissioner
Gloria Thompson, Commissioner**

COUNTY REPRESENTATION:

**David Crawley, County Manager
Nikki Milburn, County Clerk
Pam Workman, Finance Director
Chase Beggs, Planning and Zoning
Stephen Sewell, Fire/EMS
Paul Johnson, Coroner**

MEDIA: Erin Burditt, McDuffie Progress

Others: 13

Public Hearing

1. Request for Rezoning from C-2 to R-1; 8109 Highway 221, Dearing.

Chase advised the board that a request has been made to rezone property from commercial to residential for 8109 Highway 221, Dearing. The property owner has plans to use the old commercial building as storage and to remodel the old farmhouse that is located on the property. The planning board recommended to approve this request. Chairman Newton asked if there was any questions or comments, hearing no response this item was closed.

2. 1st Reading: Ordinance Amendment 22-01; Subdivision Hydrant Requirement.

Chase advised that the current ordinance for subdivisions to reduces the minimum requirements for fire hydrants from 1000 feet for residential use to 800 feet for all new development. This change will need to be submitted during the plan and design review process. Chairman Newton asked if there was any questions or comments, hearing no response this item was closed.

Chairman Newton asked if there were any questions or concerns regarding the public hearings, hearing no response the public hearing portion of the meeting was closed.

CALL TO ORDER

Chairman Newton called the meeting to order at 6:35 pm, acknowledged a quorum of commissioners present and welcomed everyone in attendance.

INVOCATION & PLEDGE OF ALLEGIANCE

Commissioner Favors offered the invocation followed by the Pledge of Allegiance.

PUBLIC INPUT

Paul Daly- Submitted a list of questions and advised that someone could address them in writing.

APPROVALS

Agenda (Current)

Chairman Newton asked if there were any corrections to the current agenda or minutes.

Vice Chairman Wilson made the motion to approve the current agenda as writing and was seconded by Commissioner Thompson and passed unanimously.

Minutes

Work Session- February 28, 2022

Regular Meeting- March 2, 2022

Commissioner Thompson made the motion to approve minutes as written. The motion was seconded by Vice Chairman Wilson and passes unanimously.

INFORMATION & ANNOUNCEMENTS

1. McDuffie Mixer: Thursday, March 24th, 5:30-7:30 at McDuffie Museum.
2. Spring Trash Amnesty Day: March 26th, 8am-noon.
3. Take Me Out to the Ballgame, World Champions Trophy Tour: April 21st, 5pm-8pm, Depot and Railroad Street.
4. ACCG Annual Conference: April 28-May 1, Savannah.

APPOINTMENT/REAPPOINTMENTS

None

OLD BUSINESS

None

NEW BUSINESS

1. **Consideration to Accept Planning Board Recommendation for Rezoning Request for 8109 Highway 221, Dearing.**

Chairman Newton asked if there were any further questions regarding this request.

Commissioner Jopling made the motion to uphold the planning board recommendation. The motion was seconded by Commissioner Thompson and passed unanimously.

2. **Consideration to Approve Parking Lot Re-Stripe List.**

David presented the board with a list of parking lots around the community that need to be re-striped. He advised that the cost is \$5,874.00 and some cost would be split with the city on jointly owned properties. The funding source is building maintenance fund.

Building Location	Address	Cost
Airport	John T Lane	\$542.00
Government Center	214 Greenway	\$2,076.00
Senior Center, Public Defender	300 Greenway	\$610.00
Health Department, DFACS, Library	307 Greenway	\$1,025.00
Old Courthouse, Church Street Side	309 Main Street	\$679.00
Old Courthouse, McDuffie Avenue Side	309 Main Street	\$942.00
Total		\$5,874.00

Commissioner Jopling made the motion to approve the re-stripping projects. The motion was seconded by Vice Chairman Wilson and passed unanimously.

3. **Consideration to Approve Work Authorization for Senior Center.**

David advised that in recent months staff at the senior center have noticed that some cracks along the western walls are getting worse. Several foundation contractors have assessed the problems and identified some solutions for remediation. Cantey Foundation Specialist submitted a proposal with an estimated cost of \$56,224.43.

Commissioner Thompson made the motion to approve proposal with Cantey Foundation Specialist. The motion was seconded by Commissioner Jopling and passed unanimously.

4. Consideration to Approve Amendment to Solid Waste Fees.

David advised that the new hauling agreement has the hauling rate increased to \$51.52/ton. But he and Pam also feel like with the current state of the economy with fuel cost that there will be an increase in the fuel surcharges and there is a need to also be an increase to the solid waste fees. He presented the board with 2 options for an increase. Option #1 would be an increase of \$18/ton in dumping fees for commercial. And Option #2 would be an increase of \$19/ton for dumping for commercial. He would also recommend raising the minimum fee for residential to \$5.

Commissioner Thompson made the motion to proceed with option #2 and recommendation for residential fees. The motion was seconded by Commissioner Jopling and passed unanimously.

5. Consideration to Approve Engineering and Survey for Construction of Inert Waste Cell No. 2.

David advised that the current inert waste cell is nearing capacity and there is a need to construct an additional one. There will have to be engineering and surveying completed in order to proceed with this. Engineering cost with the completion of construction plans is \$15,500.00 and survey cost are \$9,000. This will be funding by Land Field Surcharge.

Vice Chairman Wilson made the motion to proceed with construction plans for Inert Waste Cell No. 2. The motion was seconded by Commissioner Favors and passed unanimously.

6. Monthly Budget Report

David presented the monthly budget report.

7. Monthly Financial Report

Pam presented the monthly financial report.

ADJOURNMENT

A motion was made by Vice Chairman Wilson to adjourn the regular meeting at 7:02 pm, seconded by Commissioner Thompson and passed unanimously.

MCDUFFIE COUNTY BOARD OF COMMISSIONERS

Charles G. Newton, IV, Chairman

ATTEST: _____
Nikki Milburn, County Clerk



**The McDuffie County Board of Commissioners held a Special Called Commission Meeting
Wednesday Morning, April 12, 2022, 10:00 am
Government Center Meeting Room**

COMMISSIONERS PRESENT:
Charles Newton, IV, Chairman
Sammie Wilson, Sr., Vice Chairman
Bill Jopling, Commissioner
Gloria Thompson, Commissioner

COUNTY REPRESENTATION:
David Crawley, County Manager
Pam Workman, Finance Director
Nikki Milburn, County Clerk

MEDIA: Erin Burditt, McDuffie Progress

Others: 1

CALL TO ORDER

Chairman Newton called the meeting to order at 10:04 am, acknowledged a quorum of commissioners present and welcomed everyone in attendance.

INVOCATION & PLEDGE OF ALLEGIANCE

Vice Chairman Wilson offered the invocation followed by the Pledge of Allegiance.

APPROVALS

Agenda (Current)

Chairman Newton asked if there were any corrections to the current agenda.

A motion was made by Vice Chairman Wilson to approve the current agenda as written and was seconded by Commissioner Jopling and passed unanimously.

NEW BUSINESS

- 1. Consideration to Approve Resolution 22-05; Providing for the Levy and Collection of an Annual Ad Valorem Tax to Provide Funds for the Payment of the Principal of the Interest on \$19,000,000 in Aggregate Principal Amount of the McDuffie County School District (Georgia) General Obligation Bonds, Series 2022.**

Chairman Newton advised that this resolution needs to be set in place in the instance that the school board is ever in the position that the ESPLOST didn't pass and the school was left unable to repay their general obligation bond.

Commissioner Jopling made the motion to approve Resolution 22-05. The motion was seconded by Vice Chairman Wilson and passed unanimously.

ADJOURNMENT

A motion was made by Vice Chairman Wilson to adjourn the meeting at 10:06 am , seconded by Commissioner Jopling and passed unanimously.

MCDUFFIE COUNTY BOARD OF COMMISSIONERS

Charles G. Newton, IV, Chairman

ATTEST: _____
Nikki Milburn, County Clerk

RESOLUTION 22-06

WHEREAS, Article IX, Section VI, P. III, of the Constitution of the State of Georgia, declares that the development of trade, commerce, industry and employment opportunities is public purpose valuable to the welfare of the people of the State of Georgia and the General Assembly has enacted legislation for the creation of development authorities under the provisions of the Official Code of Georgia (O.C.G.A) 36-62-5.1 which provides for the creation of joint development authorities by two or more counties; and

WHEREAS, under the provisions of O.C.G.A. 36-62-5.1(a) a joint development authority known as the CSRA Unified Development Authority has been activated by resolution of the Boards of Commissioners of Burke, Columbia, Glascock, Hancock, Jefferson, Jenkins, Lincoln, McDuffie, Richmond, Taliaferro, Warren, Wilkes, and Washington Counties; and

WHEREAS, each jurisdiction appoints two (2) members to serve as the jurisdiction's official representatives on the CSRA Unified Development Authority for staggering terms (with the person listed below on the first line currently serving a term ending in the year indicated).

NOW THEREFORE BE IT RESOLVED, that the *McDuffie* County Board of Commissioners does hereby appoint the following persons to serve as voting members of the CSRA Unified Development Authority representing this participating county for terms ending at 23:59 on December 31st in the years set opposite their respective names or until such a time that their successors are duly appointed:

<u>NAME OF VOTING MEMBER</u>	<u>TERM YEAR END</u>
<u>Don Powers</u>	2023
<u>Steve Dwyer</u>	2024

BE IT FURTHER RESOLVED that a copy of this resolution shall be duly filed by the CSRA Unified Development authority in the office of the Secretary of State of the State of Georgia as required annually.

Adopted this _____ day of _____, 2022.

AFFIX COUNTY SEAL

CHAIRMAN

ATTEST

**MEMORANDUM OF UNDERSTANDING
Thomson-McDuffie County Archway Partnership**

This **MEMORANDUM OF UNDERSTANDING** (this “**Agreement**”) is made and entered into as of July 1, 2022 by and among the City of Thomson (the “**City**”), the Board of Commissioners of McDuffie County, Georgia (the “**County**”), the McDuffie County Board of Education (the “**Board of Education**”), the Industrial Development Authority of McDuffie County and the City of Thomson, Georgia (the “**IDA**”), University Hospital McDuffie (the “**Hospital**”), the Thomson-McDuffie Convention and Visitors Bureau (the “**CVB**”), the Thomson-McDuffie Chamber of Commerce (the “**Chamber**”), the Town of Dearing (“**Dearing**”), and Augusta Technical College (the “**Technical College**”), and together with the City, the County, the Board of Education, the IDA, the Hospital, the CVB, the Chamber, Dearing, and the Technical College (the “**Community Partners**”), and the Board of Regents of the University System of Georgia by and on behalf of the University of Georgia (for purposes of this Agreement referred to herein as the “**UGA Archway Partnership**”), and the Office of the Vice President for Public Service and Outreach (the “**OVPPSO**,” and together with the UGA Archway Partnership, the “**UGA Partners**”).

WHEREAS, Jefferson Energy Cooperative Foundation (“**JEC Foundation**”), and Georgia Power Company (“**Georgia Power**”), and the Thomson Housing Authority (the “**Housing Authority**”) and together with JEC Foundation, Georgia Power, and the Housing Authority (the “**Additional Community Supporters**”) have each agreed to support the activities described in this Agreement;

WHEREAS, each of the Community Partners, the UGA Partners, and the Additional Community Supporters is considered to be a Participant (collectively, the “**Participants**”) in the Thomson-McDuffie County Archway Partnership (“**Thomson-McDuffie County Archway Partnership**”).

WHEREAS, the Participants agree to cooperate in the development, implementation, and continuation of the Thomson-McDuffie County Archway Partnership focusing on community and economic development issues for the Community Partners and Additional Community Supporters; and

WHEREAS, the Participants agree to the creation or continuation of the Thomson-McDuffie County Archway Partnership Executive Committee (the “**Executive Committee**”) to offer the Community Partners and the Additional Community Supporters appropriate representation and influence into the strategic planning and management of the Thomson-McDuffie County Archway Partnership.

NOW THEREFORE the parties hereto agree as follows:

SECTION I

The UGA Partners shall:

1. Agree to facilitate the work of the Executive Committee in support of the overall goals of the Thomson-McDuffie County Archway Partnership.
2. Subject to Section III, Paragraph 7 herein, employ a UGA faculty member (the “**Archway Professional**”) who will dedicate time as needed to the project and work directly with the Thomson-McDuffie County Archway Partnership’s Executive Committee. Such Archway Professional may, in the sole discretion of the UGA Partners, be a full- or part-time employee of UGA.

3. Establish minimum qualifications and determine the total salary to be paid to the Archway Professional, and agree to perform periodic evaluations of the Archway Professional in accordance with UGA human resources rules and regulations as any other UGA employee.
4. Have the right to terminate or transfer the Archway Professional for any reason at any time. In either such case, the UGA Partners agree that they will seek to replace the Archway Professional in accordance with the qualifications and salary guidelines described in Section 1, Paragraph 3 herein and subject to Section III, Paragraph 7 herein.
5. Provide the Archway Professional with access to office equipment, supplies, publications, or other educational materials necessary to the performance of the position's duties.
6. Keep an accurate record of all funds received and disbursed under this agreement including all support documents. The UGA Partners agree to retain such records for a period of three years unless an audit has begun and not been completed or if the audit findings have not been resolved at the end of the three year period. In such cases, the records shall be retained until the audit is complete or until the resolution of the audit findings. The UGA Archway Partnership also agrees to retain all records relating to payments made under this agreement until the expiration of three years after final payment.
7. Report to the Executive Committee at regular intervals on the nature of the Thomson-McDuffie County Archway Partnership and progress being made.

SECTION II

The Community Partners and the Additional Community Supporters shall:

1. Agree to recognize the UGA Partners as their institutional partners and provide appropriate recognition of the collaborative working relationship on all appropriate and relevant publications, materials and web sites.
2. Agree to cooperate with the UGA Partners in the implementation and administration of educational opportunities for the students of the University of Georgia.
3. Agree, when possible, to make available internship opportunities to the students of the University of Georgia and other University System of Georgia institutions in conjunction with community-identified needs and the terms of this Agreement.
4. Agree, when possible, to make available research opportunities to the faculty of the University of Georgia and other University System of Georgia institutions in conjunction with community-identified needs and the terms of this Agreement.
5. Agree to make available to the UGA Partners any research or study findings and results that may be realized as a result of this Agreement. Notwithstanding anything herein to the contrary, all research or study findings and results from research conducted by faculty of the UGA Partners shall remain the property of the UGA Partners.

SECTION III

The Participants Mutually Agree:

1. The OVPPSO will contribute to the UGA Archway Partnership as needed in order to support the activities of the Archway Professional and the UGA Archway Partnership; however, this paragraph shall not be read or construed so as to create any cost share on the part of UGA or any of the UGA Partners.
2. Each of the Additional Community Supporters will contribute, subject to its sole discretion, to the UGA Archway Partnership as needed in order to support the activities of the Thomson-McDuffie County Archway Partnership and the UGA Archway Partnership.
3. The Community Partners will pay to the UGA Archway Partnership a total FIXED FEE of \$64,500 for the period beginning on July 1, 2022 through June 30, 2023 (the “FY2023 Community Fee”).
3. The Community Partners are committed to funding the FY2023 Community Fee as follows:

City of Thomson	\$15,000
Board of Commissioners of McDuffie County, Georgia	\$15,000
McDuffie County Board of Education	\$10,000
Industrial Development Authority of Thomson-McDuffie	\$7,500
University Hospital McDuffie	\$5,000
Thomson-McDuffie CVB	\$5,000
Thomson-McDuffie Chamber of Commerce	\$3,000
Town of Dearing	\$2,500
Augusta Technical College	\$1,500

4. The UGA Archway Partnership shall send an invoice to each of the Community Partners for such Community Partner’s respective amount shown above. The full amount of all such invoices shall be due 30 days after the effective date of this agreement. Invoices will be sent to the following:

City of Thomson
Attn: Kenneth Usry, Mayor
P.O. Box 1017
Thomson, GA 30824

McDuffie County Board of Commissioners
Attn: Charles G. Newton, IV, Chairman
210 Railroad Street
Thomson, GA 30824

McDuffie Board of Education
Attn: Mychele Rhodes, Superintendent/Andy Knox, Board Chair
716 N. Lee Street
Thomson, GA 30824

Industrial Development Authority of Thomson-McDuffie
Attn: Steve Dwyer, Chairman
149 Main Street
Thomson, GA 30824

University Hospital McDuffie
Attn: Nic Wood, Administrator
2460 Washington Road Northeast
Thomson, GA 30824-2199

Thomson-McDuffie CVB
Attn: Elizabeth Vance, Executive Director
149 Main Street
Thomson, GA 30824

Thomson-McDuffie Chamber of Commerce
Attn: Debbie Jones, Executive Director
149 Main Street
Thomson, GA 30824

Town of Dearing
Attn: Sean Kelley, Mayor
P.O. Box 520
Dearing, GA 30808

Augusta Technical College
Attn: Beverly Peltier, Director, Institutional Advacement & Augusta Tech College Foundation
3200 Augusta Tech Drive, Building 100, President's Suite
Augusta, GA 30906

5. Expenditures and budgetary allocations for the FY2023 Community Fee will be based on history and may vary depending on community needs. The Archway Partnership is authorized to transfer funds between various expenditure and budgetary categories and accounts without specific and separate approval by any of the Thomson-McDuffie Partners. Subject to any such transfers, the expenditures and budgetary allocations for the FY2023 Community Fee are anticipated to be as follows:

Operating & Project Costs	45%
Personal Services	35%
Travel and Operating Costs	20%

6. The Participants agree to the creation or continuation of the Thomson-McDuffie County Archway Partnership Executive Committee who shall perform the following functions:
- a. Remit or cause to be remitted the FY2023 Community Fee to the UGA Archway Partnership when due.
 - b. Provide guidance on the appointment or hiring of the Archway Professional. The actual appointment or hiring of the Archway Professional shall be subject to the sole approval of the UGA Partners.
 - c. Evaluate the financial support of the Thomson-McDuffie County Archway Partnership annually, make adjustments as necessary for continued effective support, and notify the UGA Partners of any adjustments no later than March 31, 2023.

- d. Agree to locate the Archway Professional's office in facilities that are adequate and appropriate for the program.
7. The Archway Professional shall remain at all times a University of Georgia employee, subject to all applicable university guidelines and policies, and shall not be an employee of any of the Community Partners or the Additional Community Supporters while performing this service and will not be entitled to fringe benefits normally accruing for employees of any of the Community Partners or the Additional Community Supporters.
8. This Agreement shall take effect as of July 1, 2022.
9. The terms of this Agreement shall be from July 1, 2022 through June 30, 2023. Either the UGA Partners (acting collectively) or the Community Partners (acting collectively) may terminate this Agreement upon 90 days written notice of such intent.
10. This Agreement may be modified by mutual written agreement of the parties hereto.
11. This agreement, along with any exhibits, appendices, addenda, schedules, and amendments attached hereto, encompasses the entire agreement of the parties, and supersedes all previous understandings and agreements between the parties hereto, whether oral or written.
12. This Agreement may be renewed annually by mutual written agreement of all parties.

[Remainder of this page left intentionally blank.]

IN WITNESS WHEREOF, the parties have caused this Agreement to be duly executed as of the date first described above.

DocuSigned by:
Kenneth Usry
33A8880F217F48C...

City of Thomson, Georgia

03/23/2022 | 4:50 PM EDT

Date

Board of Commissioners of
McDuffie County, Georgia

Date

McDuffie County Board of Education

Date

DocuSigned by:
Steve Dunge
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Industrial Development Authority of
McDuffie County and the City of Thomson, Georgia

03/23/2022 | 5:10 PM EDT

Date

University Hospital McDuffie

Date

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Elizabeth Vance
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Thomson-McDuffie Convention and Visitors Bureau

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Date

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Debbie Jones
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Thomson-McDuffie Chamber of Commerce

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Sean Kelley
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Town of Dearing, Georgia

03/24/2022 | 3:08 PM EDT

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Jermene Whirl
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Augusta Technical College

03/23/2022 | 2:09 PM EDT

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Miranda Youngblood
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Jefferson Energy Cooperative

03/24/2022 | 8:14 AM EDT
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Kerry Bridges
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Georgia Power Company

03/25/2022 | 6:42 AM PDT
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Daron B. Sutt
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Thomson Housing Authority

03/29/2022 | 2:26 PM EDT
Date

DocuSigned by:
Michelle Elliott
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Archway Partnership, University of Georgia

03/31/2022 | 2:06 PM EDT
Date

Vice President for Public Service and Outreach,
University of Georgia

Date

Board of Regents of the University System of
Georgia by and on behalf of the University of Georgia

Date

Certificate Of Completion

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debbie.jones@thomson-mcduffie.gov
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elizabeth.vance@thomson-mcduffie.gov
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jermaine.whirl@augustatech.edu
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kenneth.usry@thomson-mcduffie.gov
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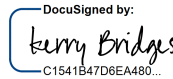
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kbridges@southernco.com
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mwe@uga.edu
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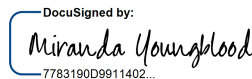
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myoungblood@jec.coop
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Mychele Rhodes
rhodesm@mcduffie.k12.ga.us
Superintendent
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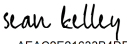
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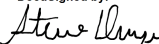
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Intermediary Delivery Events	Status	Timestamp
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John Waller
john.waller@thomson-mcduffie.gov
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Julie Langham
jlangham@augustatech.edu
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sperren@uga.edu
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Signing Complete	Security Checked	3/29/2022 2:26:30 PM

Payment Events	Status	Timestamps
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Electronic Record and Signature Disclosure
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ELECTRONIC RECORD AND SIGNATURE DISCLOSURE

From time to time, SHI OBO University of Georgia (we, us or Company) may be required by law to provide to you certain written notices or disclosures. Described below are the terms and conditions for providing to you such notices and disclosures electronically through your DocuSign, Inc. (DocuSign) Express user account. Please read the information below carefully and thoroughly, and if you can access this information electronically to your satisfaction and agree to these terms and conditions, please confirm your agreement by clicking the 'I agree' button at the bottom of this document.

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At any time, you may request from us a paper copy of any record provided or made available electronically to you by us. For such copies, as long as you are an authorized user of the DocuSign system you will have the ability to download and print any documents we send to you through your DocuSign user account for a limited period of time (usually 30 days) after such documents are first sent to you. After such time, if you wish for us to send you paper copies of any such documents from our office to you, you will be charged a \$0.00 per-page fee. You may request delivery of such paper copies from us by following the procedure described below.

Withdrawing your consent

If you decide to receive notices and disclosures from us electronically, you may at any time change your mind and tell us that thereafter you want to receive required notices and disclosures only in paper format. How you must inform us of your decision to receive future notices and disclosure in paper format and withdraw your consent to receive notices and disclosures electronically is described below.

Consequences of changing your mind

If you elect to receive required notices and disclosures only in paper format, it will slow the speed at which we can complete certain steps in transactions with you and delivering services to you because we will need first to send the required notices or disclosures to you in paper format, and then wait until we receive back from you your acknowledgment of your receipt of such paper notices or disclosures. To indicate to us that you are changing your mind, you must withdraw your consent using the DocuSign 'Withdraw Consent' form on the signing page of your DocuSign account. This will indicate to us that you have withdrawn your consent to receive required notices and disclosures electronically from us and you will no longer be able to use your DocuSign Express user account to receive required notices and consents electronically from us or to sign electronically documents from us.

All notices and disclosures will be sent to you electronically

Unless you tell us otherwise in accordance with the procedures described herein, we will provide electronically to you through your DocuSign user account all required notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any notice or disclosure, we prefer to provide all of the required notices and disclosures to you by the same method and to the same address that you have given us. Thus, you can receive all the disclosures and notices electronically or in paper format through the paper mail delivery system. If you do not agree with this process, please let us know as described below. Please also see the paragraph immediately above that describes the consequences of your electing not to receive delivery of the notices and disclosures electronically from us.

How to contact SHI OBO University of Georgia:

You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To contact us by email send messages to: bsilvers@uga.edu

To advise SHI OBO University of Georgia of your new e-mail address

To let us know of a change in your e-mail address where we should send notices and disclosures electronically to you, you must send an email message to us at bsilvers@uga.edu and in the body of such request you must state: your previous e-mail address, your new e-mail address. We do not require any other information from you to change your email address..

In addition, you must notify DocuSign, Inc to arrange for your new email address to be reflected in your DocuSign account by following the process for changing e-mail in DocuSign.

To request paper copies from SHI OBO University of Georgia

To request delivery from us of paper copies of the notices and disclosures previously provided by us to you electronically, you must send us an e-mail to bsilvers@uga.edu and in the body of such request you must state your e-mail address, full name, US Postal address, and telephone number. We will bill you for any fees at that time, if any.

To withdraw your consent with SHI OBO University of Georgia

To inform us that you no longer want to receive future notices and disclosures in electronic format you may:

- i. decline to sign a document from within your DocuSign account, and on the subsequent page, select the check-box indicating you wish to withdraw your consent, or you may;
- ii. send us an e-mail to bsilvers@uga.edu and in the body of such request you must state your e-mail, full name, IS Postal Address, telephone number, and account number. We do not need any other information from you to withdraw consent.. The consequences of your withdrawing consent for online documents will be that transactions may take a longer time to process..

Required hardware and software

Operating Systems:	Windows2000? or WindowsXP?
Browsers (for SENDERS):	Internet Explorer 6.0? or above
Browsers (for SIGNERS):	Internet Explorer 6.0?, Mozilla FireFox 1.0, NetScape 7.2 (or above)
Email:	Access to a valid email account
Screen Resolution:	800 x 600 minimum
Enabled Security Settings:	<ul style="list-style-type: none"> •Allow per session cookies •Users accessing the internet behind a Proxy Server must enable HTTP 1.1 settings via proxy connection

** These minimum requirements are subject to change. If these requirements change, we will provide you with an email message at the email address we have on file for you at that time providing you with the revised hardware and software requirements, at which time you will have the right to withdraw your consent.

Acknowledging your access and consent to receive materials electronically

To confirm to us that you can access this information electronically, which will be similar to other electronic notices and disclosures that we will provide to you, please verify that you were able to read this electronic disclosure and that you also were able to print on paper or electronically save this page for your future reference and access or that you were able to e-mail this disclosure and consent to an address where you will be able to print on paper or save it for your future reference and access. Further, if you consent to receiving notices and disclosures exclusively in electronic format on the terms and conditions described above, please let us know by clicking the 'I agree' button below.

By checking the 'I Agree' box, I confirm that:

- I can access and read this Electronic CONSENT TO ELECTRONIC RECEIPT OF ELECTRONIC RECORD AND SIGNATURE DISCLOSURES document; and
- I can print on paper the disclosure or save or send the disclosure to a place where I can print it, for future reference and access; and
- Until or unless I notify SHI OBO University of Georgia as described above, I consent to receive from exclusively through electronic means all notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to me by SHI OBO University of Georgia during the course of my relationship with you.



c/o Rhonda Millsaps - Land Agent
134 Bethany Manor Way
Ball Ground, Georgia 30107

March 1, 2022

**The City of Thomson &
The Board of Commissioners of
McDuffie County, Georgia
210 Railroad St.
Thomson, GA 30824**

**RE: Project Name: Athens-Augusta Communication Project - Phase 4 (the "Project")
Georgia Power Company LIMS Project 2019090005 Parcel 054
Property Location: 180 Wrens Hwy, Thomson, GA 30824
County: McDuffie
Tax ID# 00420078**

Dear City of Thomson & Board of Commissioners of McDuffie County, GA,

As you know from our previous discussions or may have heard, Georgia Power Company ("Georgia Power") wants to acquire an easement across your property for our proposed Athens-Augusta Communication Project, Phase 4 (the "Project"). I've enclosed a map that shows the location of our proposed fiber line on your property and a copy of the standard fiber optic easement document that describes the property rights we need to acquire from you (the "Easement").

We have evaluated the value of the easement area we wish to acquire from you and based on that evaluation, Georgia Power is offering you **\$3005** upon receipt of the Easement that has been signed by you (please note that the Easement must also be signed by a witness and a notary public).

Your property's evaluation is based on the following:

a. Total Acreage of Property	60.90 acres
b. Easement Area	6.01 acres
c. Price per Acre	\$5,000.00
d. Easement Rights Factor	10%
e. Total Assessed Value	\$3005.00

I will continue to be available to answer any questions you may have regarding the fiber optic line or this proposal. If you have questions, please call me at **770-345-3625** or **404-936-0760** or email me at: rrmillsa@southernco.com.

Continued on next page.....

Best regards,

Rhonda Millsaps

Rhonda Millsaps
Land Agent

Name: _____ Date _____
Title: _____

Name: _____ Date _____
Title: _____

Enclosures: Easement, Parcel Map, W9, Self-Addressed Stamped Envelope, Instructions

Enclosures

After recording, return to:
Georgia Power Company
Attn: Land Acquisition (Recording)
241 Ralph McGill Blvd NE
Bin 10151
Atlanta, GA 30308-3374

PROJECT 2019090005 LETTER FILE DEED FILE MAP FILE
ACCOUNT NUMBER 10128101-GPC9596-VBS-17
NAME OF LINE/PROJECT: **ATHENS - AUGUSTA COMMUNICATION PROJECT (PHASE 4)**

PARCEL NUMBER 054

STATE OF GEORGIA
MCDUFFIE COUNTY

E A S E M E N T

Background Statements:

1. The undersigned, **THE CITY OF THOMSON AND THE BOARD OF COMMISSIONERS OF MCDUFFIE COUNTY, GA.** ("Owner") owns land at 180 WRENS HWY, THOMSON, GA 30824 (Tax Parcel ID No. 00420078) in the 152 GMD (Georgia Militia District) of McDuffie County, Georgia, further described by Deed Book 110, Page 239, McDuffie County, Georgia records, all or a part of which (the "**Transmission Corridor**") is subject to an easement or easements held by Georgia Power Company ("**Georgia Power**").
2. A portion of the Property depicted on Exhibit A attached hereto and by this reference made a part hereof (the "**Transmission Corridor**") is subject to an easement or easements held by Georgia Power Company ("**Georgia Power**") or another member of the Georgia Integrated Transmission System.
3. Without limiting any existing rights with respect to the Transmission Corridor, Georgia Power now seeks from Owner express easement rights affirming Georgia Power's ability to install underground communications lines, facilities, equipment and systems within the Transmission Corridor (the "**Easement Area**"), together with certain above-ground lines, facilities, equipment and systems as may be necessary, appropriate or convenient in conjunction therewith.

NOW, THEREFORE, for Ten Dollars (\$10.00) and other good and valuable consideration received, Owner agrees as follows:

Owner hereby grants and conveys to Georgia Power, its successors, assigns, lessees, licensees, affiliates and agents, a perpetual easement in the Easement Area with the exclusive right to construct, install, operate, maintain, extend, repair, replace, relocate, add to, modify and remove above-ground, overhead and/or underground communications systems, including, but without limitation, conduits, ducts, cables, lines, wires, fibers and other conductors used or useful in the transmission, in any form, of writings, signs, signals, pictures, sounds, information, data or other similar content, along with all necessary or convenient ancillary facilities, structures, manholes, handholes, appliances,

PARCEL 054

NAME OF
LINE/PROJECT:

ATHENS - AUGUSTA COMMUNICATION PROJECT (PHASE 4)

devices, wires and other equipment upon, over, and/or under the Easement Area; together with all rights necessary or convenient for the full enjoyment and use of the Easement Area for such purposes, including, but without limitation, the right of ingress and egress across Owner's lands, and the right to keep clear and remove all trees, buildings and other obstructions now or hereafter placed in the Easement Area by Owner or any other person.

Owner may not hereafter install or grant any rights to install in the Easement Area any conduit, duct, cable, line, wire, fiber or other conductor for communications purposes, including, but without limitation, for use in the transmission of writings, signs, signals, pictures, sounds, information, data or other similar content. Owner may otherwise use the Easement Area for purposes that will not interfere with the existing rights with respect to the Transmission Corridor or the rights granted to Georgia Power in this instrument, but Owner will not construct or install any building or structure on the Easement Area, other than fences that do not interfere with Georgia Power's use of the rights granted herein.

Owner expressly grants to Georgia Power the right to take any action, whether at law or in equity, and whether by injunction, ejectment or other means, to prevent the construction, or after erection thereof to cause the removal, of any building or other structure(s) located on the Easement Area, regardless of whether the offending party is Owner or not. Owner will notify Georgia Power in the event Owner contracts with a third party who owns, as a result thereof, any buildings or other such structures. Owner acknowledges and agrees that said rights are necessary for the safe and proper exercise and use of the rights, privileges, easements, and interests herein granted to Georgia Power.

Owner hereby represents and warrants that it is the sole owner in fee simple of the Property and that it has the lawful right and authority to grant the easement and rights conveyed herein without the approval of any other party. Owner hereby binds himself or herself, his or her heirs, executors and administrators to warrant and forever defend all and singular the easement and rights granted herein unto Georgia Power, its successors, assigns, lessees, licensees, affiliates and agents, against every person whomsoever, lawfully claiming the same, or any part thereof.

TO HAVE AND TO HOLD forever unto Georgia Power, its successors, assigns, lessees, licensees, affiliates and agents, the rights, privileges, easements, powers and interests granted herein, which will be a covenant running with the title to the Property. The rights, privileges, easements, powers and interests hereby granted shall inure to the benefit of and be binding upon the parties hereto, and their respective successors and assigns. Georgia Power may grant, license, assign or permit others to exercise any of the foregoing rights granted to Georgia Power herein, in whole or in part. Georgia Power shall not be liable for or bound by any statement, agreement or understanding not expressed herein or in written, recorded instruments to which Georgia Power is a party with respect to Transmission Corridor. Notwithstanding any term of this instrument to the contrary, this instrument in no way limits the existing rights of Georgia Power (or any other member of the Georgia Integrated Transmission System) with respect to the Transmission Corridor.

[Signatures appear on following Page]

PARCEL 054

NAME OF
LINE/PROJECT:

ATHENS - AUGUSTA COMMUNICATION PROJECT (PHASE 4)

IN WITNESS WHEREOF, the Owner has/have hereunto set his/her/their hand(s) and seal(s), this _____ day of _____, _____.

Signed, sealed and delivered in the presence of: THE CITY OF THOMSON

Witness

By: _____ (SEAL)

Name:

Title:

Notary Public

Attest: _____ (SEAL)

Name:

Title:

[CORPORATE SEAL]

Signed, sealed and delivered in the presence of:

THE BOARD OF COMMISSIONERS OF MCDUFFIE COUNTY,
GA.

Witness

By: _____ (SEAL)

Name:

Title:

Notary Public

Attest: _____ (SEAL)

Name:

Title:

[CORPORATE SEAL]

Attention: RHONDA MILLSAPS
Owner#1

2019090005-054

Office Use Only:

Name of Line:	ATHENS AUGUSTA COMMUNICATIONS PROJECT -Phase4		
Project Number:	2019 090005	Parcel Number:	054
Seller Name:	City of Thomson		
Closing Agent:	RMILLS	Closing Date:	_____
Check Number:		Gross Proceeds:	\$3005.00(total)
Legal-Land Lot:		District:	GMD 152
		County:	McDuffie

Instructions for U.S. Tax Persons: As a business, federal income tax law requires us to report certain payments we make to you if you are not exempted from this reporting responsibility. In order for us to properly meet the federal law requirements, we need certain information from you. Please complete the information requested below and return the form to the Georgia Power Land Acquisition Agent or to the address shown above. If you do not provide us with your correct taxpayer identification number, you may be subject to a \$50 penalty imposed by the Internal Revenue Service. In addition, you may be subject to 28% backup withholding on reportable payments we make to you.

Part 1 Tax Status

Instructions: Check ONE box only and provide your complete name and Taxpayer Identification Number

<input type="checkbox"/>	U.S. Resident Individual:	Individual's Name	Individual's Social Security Number
--------------------------	----------------------------------	-------------------	-------------------------------------

A sole proprietorship may have a "doing business as" trade name, but the legal name is the name of the business owner.

<input checked="" type="checkbox"/>	U.S. Sole Proprietor:	Business Owner's Name	Owner's Social Security Number
		Business or Trade Name:	Or Employer's Identification Number

A partnership may have a "doing business as" trade name, but the legal name is the list of the names of the partners.

<input type="checkbox"/>	U.S. Partnership, Limited Liability Co. (LLC), Trust or Estate:	Name of Partnership/ LLC/ Trust/Estate (As shown on your tax forms)	Employer Identification Number
		Partnership's Legal Name (Name of first partner):	

A corporation may use an abbreviated name or its initials, but its legal name is the name on the articles of incorporation.

If an LLC electing corporate status for U.S. tax purposes, please attach a copy of you U.S. tax election on IRS Form 8832, Entity Classification Election

<input checked="" type="checkbox"/>	U.S. Corporation, Tax Exempt Org, Federal, State or Local Gov't. Agency:	Name of Corporation or Entity The City of Thomson	Employer identification Number
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Part 2 Exemption If exempt from 1099 reporting, circle your qualifying exemption reason below.

1. Corporation
2. Tax Exempt Charity under 501 (c)(3), or IRA
3. The United States or any of its agencies or instrumentalities
4. A state, the District of Columbia, a possession of the United States, or any of their political subdivisions
5. A foreign government or any of its political subdivisions
6. Other_

Under penalties of perjury, my signature certifies that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me).
2. I am not subject to backup withholding because a) I am exempt from backup withholding, or b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or c) the IRS has notified me that I am no longer subject to backup withholding.
3. I am a U.S. person (including a U.S. resident alien). The IRS defines a U.S. person as a) U.S. citizen, b) an entity (company, corporation, trust, partnership, estate, etc.) created or organized in, or under the laws of, the United States; a state; or the District of Columbia, or c) a U.S. resident (someone who has a "green card" or has passed the IRS "substantial-presence test." For an explanation of the substantial-presence test, please see IRS Pub. 515 or 519, available at www.irs.gov.)

If you are a foreign person, do not complete this Form W-9. Instead, use the appropriate Form W-8 (see Publication 515, Withholding of Tax on Nonresident Aliens and Foreign Entities).

_____ Signature	_____ Name (Typed or Printed)	_____ Title
_____ Date	_____ Home Phone Number	_____ Cell/Work Phone Number
_____ Address	_____ City	_____ State
		_____ ZIP

Attention: RHONDA MILLSAPS

Owner#1

2019090005-054

Office Use Only:

Name of Line:	ATHENS AUGUSTA COMMUNICATIONS PROJECT -Phase 4		
Project Number:	2019 090005	Parcel Number:	054
Account Number:			
Seller Name:	Board of Commissioners of McDuffie County		
Closing Agent:	IRMILLS	Closing Date:	_____
Tax APN:	0042 0078		
Check Number:	Gross Proceeds: \$3005.00(total)		
Legal-Land Lot:	District:	GMD 152	County:
			McDuffie

Instructions for U.S. Tax Persons: As a business, federal income tax law requires us to report certain payments we make to you if you are not exempted from this reporting responsibility. In order for us to properly meet the federal law requirements, we need certain information from you. Please complete the information requested below and return the form to the Georgia Power Land Acquisition Agent or to the address shown above. If you do not provide us with your correct taxpayer identification number, you may be subject to a \$50 penalty imposed by the Internal Revenue Service. In addition, you may be subject to 28% backup withholding on reportable payments we make to you.

Part 1 Tax Status
Instructions: Check ONE box only and provide your complete name and Taxpayer Identification Number

<input type="checkbox"/>	U.S. Resident Individual:	Individual's Name	Individual's Social Security Number
--------------------------	----------------------------------	-------------------	-------------------------------------

A sole proprietorship may have a "doing business as" trade name, but the legal name is the name of the business owner.

<input checked="" type="checkbox"/>	U.S. Sole Proprietor:	Business Owner's Name	Owner's Social Security Number
		Business or Trade Name:	Or Employer's Identification Number

A partnership may have a "doing business as" trade name, but the legal name is the list of the names of the partners.

<input type="checkbox"/>	U.S. Partnership, Limited Liability Co. (LLC), Trust or Estate:	Name of Partnership/ LLC/ Trust/Estate (As shown on your tax forms)	Employer Identification Number
		Partnership's Legal Name (Name of first partner):	

A corporation may use an abbreviated name or its initials, but its legal name is the name on the articles of incorporation.

If an LLC electing corporate status for U.S. tax purposes, please attach a copy of your U.S. tax election on IRS Form 8832, Entity Classification Election

<input checked="" type="checkbox"/>	U.S. Corporation, Tax Exempt Org, Federal, State or Local Gov't. Agency:	Name of Corporation or Entity Board of Commissioners of McDuffie County	Employer identification Number
-------------------------------------	---	--	--------------------------------

Part 2 Exemption If exempt from 1099 reporting, circle your qualifying exemption reason below.

1. Corporation
2. Tax Exempt Charity under 501(c)(3), or IRA
3. The United States or any of its agencies or instrumentalities
4. A state, the District of Columbia, a possession of the United States, or any of their political subdivisions
5. A foreign government or any of its political subdivisions
6. Other_

Under penalties of perjury, my signature certifies that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me).
2. I am not subject to backup withholding because a) I am exempt from backup withholding, or b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or c) the IRS has notified me that I am no longer subject to backup withholding.
3. I am a U.S. person (including a U.S. resident alien). The IRS defines a U.S. person as a) U.S. citizen, b) an entity (company, corporation, trust, partnership, estate, etc.) created or organized in, or under the laws of, the United States; a state; or the District of Columbia, or c) a U.S. resident (someone who has a "green card" or has passed the IRS "substantial-presence test." For an explanation of the substantial-presence test, please see IRS Pub. 515 or 519, available at www.irs.gov.)

If you are a foreign person, do not complete this Form W-9. Instead, use the appropriate Form W-8 (see Publication 515, Withholding of Tax on Nonresident Aliens and Foreign Entities).

_____ Signature	_____ Name (Typed or Printed)	_____ Title
_____ Date	_____ Home Phone Number	_____ Cell/Work Phone Number
_____ Address	_____ City	_____ State
		_____ ZIP



CRANSTON

CranstonEngineering.com

452 Ellis Street Augusta, Georgia 30901
PO Box 2546 Augusta, Georgia 30903
706.722.1588

March 31, 2022

Mr. David Crawley
McDuffie County Manager
210 Railroad Street
Thomson, Georgia 30824

Attn: Mr. David Crawley

RE: A/E Design for Improvements at
Sweetwater Park
Thomson, Georgia
CEG File No. 2021-0682

Dear Mr. Crawley:

In accordance with your request, we are pleased to offer the following proposal for providing architecture and engineering design services for the Sweetwater Recreation Complex. The following are a brief project description and scope, as we understand them, based upon recent discussions with you.

This scope of work will include an exploration and review of the existing facilities and development of a report to summarize deficiencies and recommendations. These services will include an assessment of the existing site conditions, any design constraints, regulatory requirements.

The project includes a limited master planning exercise to define the location of any required or proposed elements that arise based on the initial site assessment. Required or proposed elements may include current or future stormwater detention, vehicular circulation, pedestrian circulation, or other requested programming.

The desired construction scope of work is identified as renovation and selective demolition and replacement of the existing softball complex area as identified in the attached exhibit. In addition to site and field upgrades, full replacement of the scoring tower is requested. The general program of a new central scoring tower includes the following elements: concessions, public toilets, equipment storage, and a second-floor scoring tower.

SCOPE OF WORK

The scope of services we propose to provide include the following:

TASK 1- EXISTING CONDITIONS ANALYSIS

1. Complete a geotechnical analysis to inform design of structures, pavements, and field re-construction.
2. Cranston will provide a boundary topography and utility survey for the entirety of the properties currently owned by Thomson-McDuffie Recreation Department

(TMRD) at the Sweetwater Park facility. We propose to make a field survey of the property, locating planimetrically all visible improvements, and topographically mapping the terrain elevations. The survey precision will be sufficient to produce elevation contours at two-foot intervals, supplemented by appropriate spot and structure elevations. We will accomplish vertical control surveys to relate the elevations to the National Geodetic Vertical Datum of 1988, commonly referred to as mean sea level. We propose to locate existing utility lines based on field marks and maps furnished by the utility owners. These utilities will include power, gas, water, telephone, sewer, storm sewer, and cable television.

3. Cranston and associated site design subcontractors will complete a site assessment to determine the condition of current facilities to make a recommendation on preservation, re-use, or replacement of the existing facilities within the identified scope area.
4. Architecture and buildings engineers will review existing building conditions that might influence the design solution. A report will be prepared to summarize our findings. The findings will be comprehensive, referencing compliance with applicable building codes as well as recommendations of best practices.

TASK 2- MASTER PLAN

1. Cranston will provide up to three concept layouts of the field and facilities.
2. Participate in up to three meetings with the owner. One initial design review, one concept review, and a final master plan review.
3. Complete a final master plan for the baseball and softball complex that shall include the location of all facility and design elements as required by the owner based on the chosen concept layout.
4. Complete one color 2-D rendering of the final approved master plan for TMRD review and approval.
5. Provide a summary with cost analysis of permitting, regulation, and site-specific design requirements of the final approved master plan specifically noting applicable regulatory requirements.

TASK 3-FINAL DESIGN

ARCHITECTURE

Our scope of work will be broken down into multiple phases, each having a deliverable for client review and comment. Those phases will be as follows: Schematic Design (SD), Design Development (DD), and Construction Documents (CD).

1. The SD phase deliverable will include basic plans and elevations depicting the architectural character of the proposed building and the interior flow and square footages. Up to three design options can be investigated in this phase with the intent of selecting a single option to push forward into the DD phase.
2. The DD phase deliverable will include a plan set that incorporates MEP engineering coordination. At the completion of this phase, it is possible for a contractor to develop a construction estimate with a reasonable degree of accuracy.
3. At the completion of the CD phase, the plans and specifications will be complete. At this time, the documents can be submitted for permit and bid review.

SITE

1. Prepare preliminary plans based on Phase 1 Exhibit attached.
2. Coordinate site lighting with a sports field lighting manufacturer's representative and provide a plan for site electrical power distribution and low voltage plan to provide data for communications and security camera system.
3. Prepare final construction documents based on any additional coordination and comments from review provided by TMRD.
4. Prepare a Hydraulic and Hydrology report of proposed and existing conditions and submit as required to GAEPD, which includes providing evaluation of the stormwater quality requirements.
5. Prepare a three-phase ESPC plan that includes all the required items for permitting under General Permit No. GAR 100001 and submit to the proper reviewers and complete any changes requested.
6. Submit one final set of electronic plans to Owner.
7. Submit the required number of paper and electronic files of the final plans to McDuffie County Planning and GA EPD for the land disturbance permit and complete any resubmittals as needed to obtain final permit.
8. Provide specifications for the complete project scope.
9. Apply for the Notice of Intent through Georgia EPD GEOS system.

TASK 4-CONSTRUCTION PHASE SERVICES

CONSTRUCTION OBSERVATION:

We have the capabilities of assisting you with technical observation services and with contracting the job to the extent that you desire and have included an estimated allowance for these services under Additional Services above. Normally, these technical observation services would include the following items:

1. Preparing a schedule for bidding.
2. Preparing bid documents.
3. Assisting you with securing bids from qualified contractors.
4. Advising you concerning the award of contract.
5. Preparing contract documents, subject to your approval.
6. Issuing the notice to proceed.
7. Making initial site visit to inspect contractor's initial installation of soil erosion and sedimentation control measures required by NPDES General Permit No. SCR 100000.
8. Making periodic observations of the construction work as it progresses to observe the progress and general quality.
9. Furnishing written observation reports of the observations made during each visit.
10. Issuing instructions to the contractor.
11. Preparing any change orders required.
12. Reviewing the contractor's monthly applications for partial payment.
13. Determining the amounts owed to the contractor.
14. Interpreting the contract documents.
15. Consulting, as necessary, with the City/County authorities concerning their requirements.
16. Making a final observation to determine whether the work has been completed substantially in accordance with the plans and specifications.
17. Reviewing the contractor's application for final payment.

We propose to accomplish any or all these items, according to your wishes, on a time and material basis according to our rates in effect at the time services are rendered.

ASSUMPTIONS:

1. Utilities will be extended from offsite or onsite services as deemed necessary. Any new public connections that may be required will be based on City of Thomson Utility Department standard drawings or supplied drawings from local authority.
2. Department of Transportation permitting is not anticipated or included in this proposal.
3. Any private utility coordination will be limited to informational requests only.
4. A no rise certification is not anticipated based on the attached concept or included in this scope.
5. All proposed improvements are on existing TMRD property, and no additional property or easements are anticipated or included in these fees.
6. All permit review, submittal, and fire flow test fees will be reimbursed at cost plus standard mark-up.

FEE PROPOSAL:

Our fee for the design services will be a lump sum of \$269,000.00 based on preliminary exploration costs (Task 1) plus 5% of estimated cost of construction based on \$4M (Task 2-4). We would expect to submit periodic invoices as the work progresses and to receive payment within thirty (30) days thereafter.

TASK NO.		PROPOSED FEE
1.	\$	69,000.00
2.	\$	19,000.00
3.	\$	139,000.00
4. (estimate based on 12-month construction schedule)	\$	42,000.00
Basic Services Total		\$ 269,000.00

Payment for each of the items of work will be expected within thirty days following completion of the work in that item and the submittal of our invoice on a monthly basis.

TIME OF COMPLETION:


We are prepared to begin work at your request after receiving your approval of this proposal. We will complete Task 1 and 2 within ninety (90) days of notice to proceed. After receiving comments and approval for preliminary design we will submit final permitting documents within ninety (90) days with final approval dependent on county review times.

We are prepared to begin work at your direction. Your signature in the space provided on a copy of this letter returned to us will be our authority to proceed with the work.

We appreciate your confidence in our firm and the opportunity to submit this proposal. We trust that you find it satisfactory. Should you have any question concerning the scope of the services offered, or the fees, we will be happy to talk with you at your convenience to go over any aspect.

Sincerely,

CRANSTON ENGINEERING GROUP, P.C.



Lance Cheely, PLA, MBA

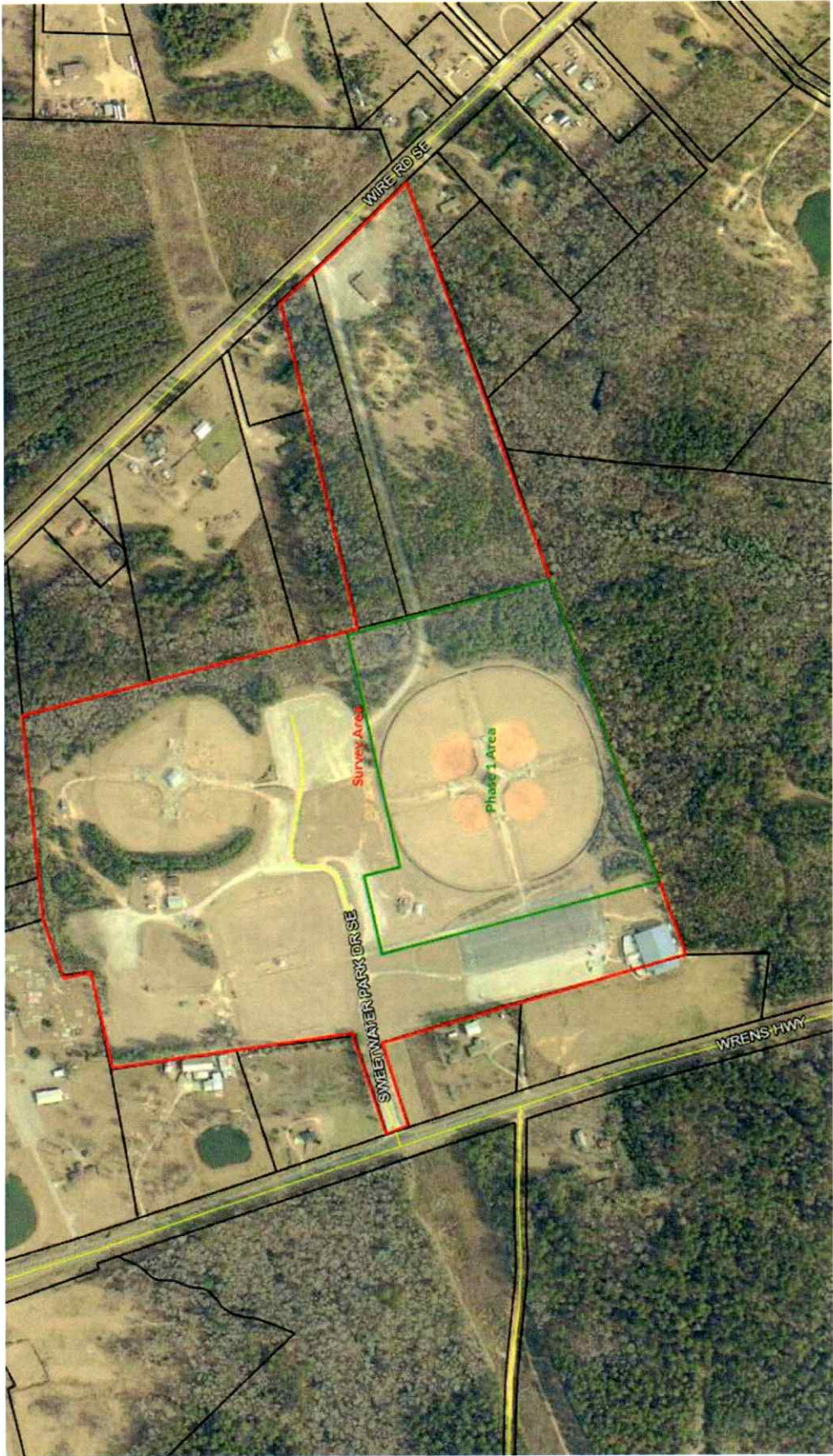
ACCEPTED:

David Crawley

BY: _____

TITLE: _____

DATE: _____



STAFF REPORT

COMMISSIONERS' MEETING: April 19, 2022

DATE: April 14, 2022
TO: Board of Commissioners
FROM: David R. Crawley, County Manager 
ISSUE: Consideration to approve Change Order for West Bypass Project, Rock Trench Underdrain.

BACKGROUND: High water table conditions necessitate the need for additional rock trench underdrain for the West Bypass Project. There is a need for an additional 1,450 linear feet of drain. Rock trench drain is a line item unit in the current bid.

FACTS AND FINDINGS:

1. 1,450 linear feet of rock trench underdrain is needed for the West Bypass Project.
2. The unit price is \$25.40 per linear foot.
3. Total change order price is \$36,830.00.

ALTERNATIVES:

1. The Board approves moving forward with the proposed change order.
2. The Board does not approve moving forward at this time.

FUNDING: Funding would be provided through TIA funds.

POLICY ANALYSIS: Approval of changes orders as necessary.

RECOMMENDATION: Staff recommends the Board adopt Alternative # 1.

ATTACHMENTS: Change Oder Request and Plan.



A COLAS COMPANY

March 25, 2022

Mr. James Osborne
Atlas – Project Engineer
616 South Harris Street
Sandersville, Georgia 31082

**RE: Project # 0006436 McDuffie
Thomson West Bypass – Pricing for Rock Trench Drain**

Mr. Osborne,

Reeves Construction Company respectfully submits pricing for rock trench drain on the above referenced project. As previously discussed, the rock trench will be utilized between Station 2130+00 to Station 2136+20 to help alleviate ground water. Proposed rock trench will be 4 feet wide by 1 foot deep in areas as shown on the attached mark-ups. Locations will include rock trench drain down the outside of the roadway on both the project's left and right sides with connecting lines of rock trench drain across the roadway at Station 2130+00, Station 2131+50, Station 2133+00, Station 2134+50, and Station 2136+00. Material for the rock trench drain will consist of #4 stone wrapped in filter fabric.

Description	Qty.	Unit	Unit Price	Extended Price
Rock Trench Drain	1450.000	LF	\$25.40	\$36,830.00
			TOTAL	\$36,830.00

Reeves also requests an additional 14 calendar days be added to the current completion date and Special Provision 109 been applied to the adjusted completion date. Please notify Reeves if the above pricing and conditions are acceptable. If you have any questions or need additional information regarding this matter, please do not hesitate to call.

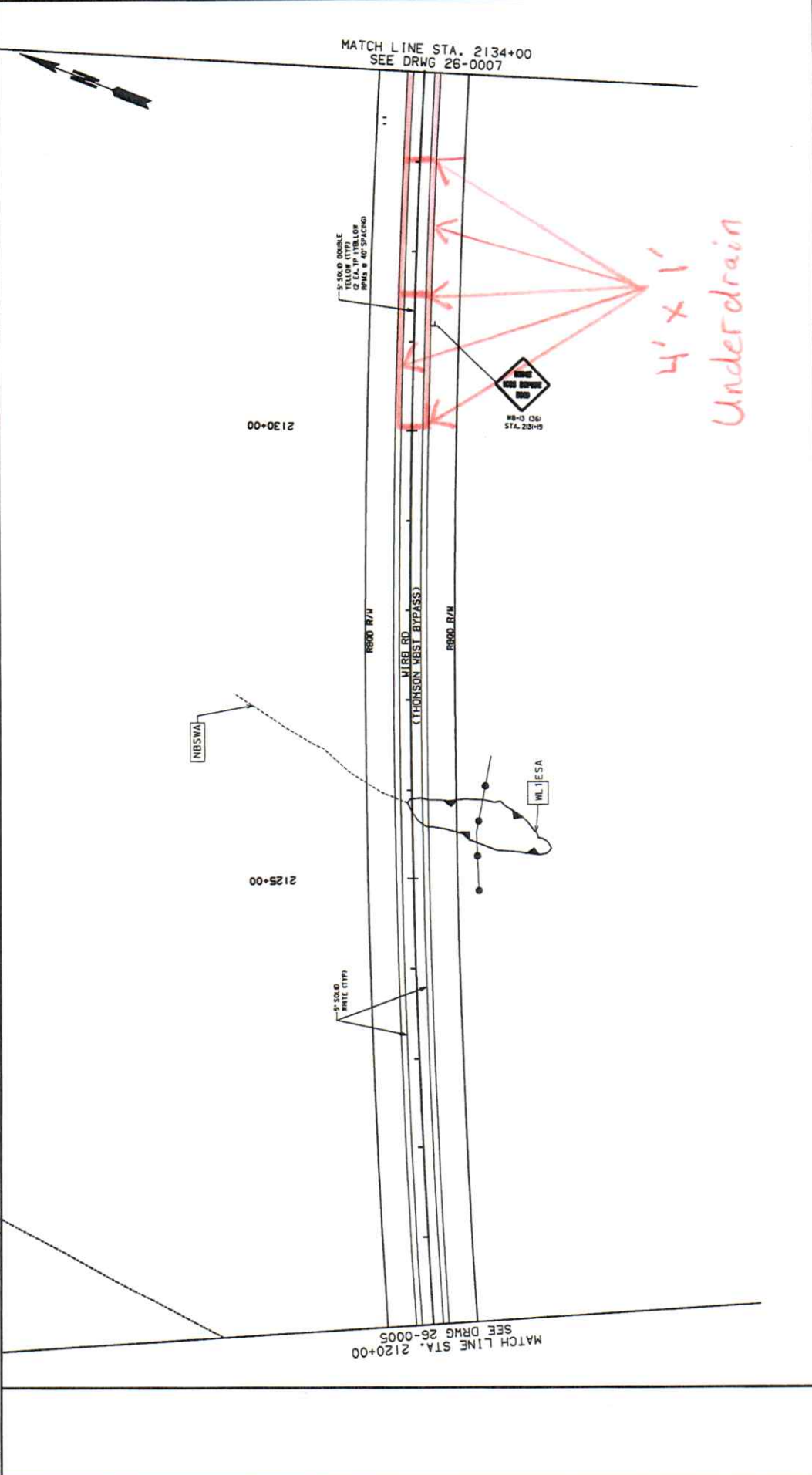
Sincerely,

**REEVES CONSTRUCTION COMPANY
EAST REGION - AUGUSTA**

John Hurst

John Hurst
Project Manager

File: 10236548



STATE OF GEORGIA
 DEPARTMENT OF TRANSPORTATION
 OFFICE: DISTRICT 2
SIGNING AND MARKING PLANS
 THOMSON WEST BYPASS
 NORTHERN EXTENSION
 STA. 202+00 TO STA. 234+00
 DRAWING NO. 26-0006


REVISION DATES

SCALE IN FEET
 0 50 100 200

MA
 MARSHALL ALTOBELLI
 2458 Commerce Avenue
 Dunwoody, GA 30098
 404.251.5915

STAFF REPORT

COMMISSIONERS' MEETING: April 19, 2022

DATE: April 14, 2022
TO: Board of Commissioners
FROM: David R. Crawley, County Manager 
ISSUE: Consideration to approve the purchase of a new mowers for Campground and Recreation.

BACKGROUND: Campground and the Recreation Department are in need of new mowers. Gravely mowers under State Contract are \$10,285.01 each.

FACTS AND FINDINGS:

1. The purchase of two mowers under State Contract would be \$20,570.02.
2. SPLOST VI funding would be used for the purchase of the mower for Recreation and Campground Fund Balance will be used for the purchase of the mower for the Campgrounds.

ALTERNATIVES:

1. The Board approves moving forward with the necessary equipment purchases.
2. The Board does not approve moving forward with equipment purchases.

FUNDING: Funding is available within SPLOST VI and Campground Funds

POLICY ANALYSIS: None

RECOMMENDATION: Staff recommends the Board adopt Alternative # 1.

ATTACHMENTS: Equipment Pricing.

Q U O T A T I O N

WALLACE & SON
 201 GORDON STREET
 THOMSON, GA 30824 USA
 Phone #: (706)595-3852
 Fax #: (706)595-3359

PHONE #:
 CELL #: (404)207-4902
 ALT. #:
 P.O.#:
 TERMS: **Net 15th EOM**
 SALES TYPE: **Quote**

DATE: **4/13/2022**
 ORDER #: **28964**
 CUSTOMER #: **100159**
 CP: **ChrisW**
 LOCATION: 1
 STATUS: **Active**

BILL TO 100159

MCDUFFIE CO COMM - LAWN MAINTENANCE
 ATTN: FINANCE DEPT
 210 RAILROAD STREET
 THOMSON, GA 30824 US

SHIP TO

MCDUFFIE CO COMM - LAWN
 MAINTENANCE
 ATTN: FINANCE DEPT
 210 RAILROAD STREET
 THOMSON, GA 30824 US

MFR	PRODUCT NUMBER	DESCRIPTION	QTY	PRICE	NET	TOTAL
ARN	992269	Pro-Turn 260 - 27 hp Kawasaki FX850 V-Twin, w/ 60" Fabricate	2	\$13,019.00	\$13,019.00	\$26,038.00
****	ADJ-PSS	GOVERNMENT DISCOUNT	-2	\$2,733.99	\$2,733.99	(\$5,467.98)

Prices reflected on this quote are valid for 30 days and while current supplies last. However, prices are subject to change if the program or promotion the prices were quoted under is no longer in effect. A 3% fee will be added to quote if paid with any type of debit, credit or purchasing card.

SUBTOTAL:	\$20,570.02
TAX:	\$0.00
ORDER TOTAL:	<u>\$20,570.02</u>

Authorized By: _____

EXECUTIVE SUMMARY

ACO/E&R REPORT FOR FEBRUARY 2022

OBJECTIVE:

To get approval of digest changes from the governing body of the County.

CONSIDERATIONS:

Approval of - \$15,505.36
Approval of - \$922.48

Changes to the PROPERTY TAX DIGEST
Changes to the MOBILE HOME DIGEST

FISCAL:

This will INCREASE/DECREASE the amount of revenue that is due to the County for the M&O.

The DECREASE to the Property Tax Digest are from appeals being settled with the Tax Assessor's Office.

The DECREASE to the Mobile Home Digest are from homestead applications being granted.

Prepared By:
Stacey W. Thomas
McDuffie County Tax Commissioner

Reviewed By:
David Crawley
County Manager

TOTAL E&A / E&R

CATEGORY	TOTAL TAX	STATE	COUNTY	SCHOOL	STR LGT	THOMSON	FIRE FEE
ADV TAX	53114.12-		15505.36-	37110.32-		498.44-	
TOTALS	53114.12-	.00	15505.36-	37110.32-	.00	498.44-	.00

TOTAL NET BILLING

CATEGORY	TOTAL TAX	STATE	COUNTY	SCHOOL	STR LGT	THOMSON	FIRE FEE
ADV TAX	53114.12-		15505.36-	37110.32-		498.44-	
TOTALS	53114.12-	.00	15505.36-	37110.32-	.00	498.44-	.00

TOTAL NET AMOUNT

CATEGORY	TOTAL TAX	STATE	COUNTY	SCHOOL	STR LGT	THOMSON	FIRE FEE
ADV TAX	53114.12-		15505.36-	37110.32-		498.44-	
TOTALS	53114.12-	.00	15505.36-	37110.32-	.00	498.44-	.00

DATE CATEGORY	BILL NUM TRAN TYPE	DIST	NAME TOTAL TAX	STATE	CC COUNTY	CHECK NUM SCHOOL	PAID BY	STR LGT	THOMSON	FIRE FEE
03/07/2022	0000000006	01	1741 INDUSTRIAL PARK LLC		99	000300010	1741 INDUSTRIAL PARK LLC			
	NET ADV TAX		2705.12-			797.17-	1907.95-			
.....										
03/07/2022	0000000140	01	ADVANCE STORES COMPANY		99	007000010	ADVANCE STORES COMPANY			
	NET ADV TAX		28286.04-			8335.62-	19950.42-			
.....										
03/07/2022	0000000358	01	ARCP CK THOMSON GA LLC		99	017900010	ARCP CK THOMSON GA LLC			
	NET ADV TAX		1334.38-			393.23-	941.15-			
.....										
03/07/2022	0000001414	03	BROOKS LEMUEL R III		99	070700010	BROOKS LEMUEL R III			
	NET ADV TAX		201.70-			59.44-	142.26-			
.....										
03/07/2022	0000001417	03	BROOKS LEMUEL R III		99	070850010	BROOKS LEMUEL R III			
	NET ADV TAX		281.86-			83.06-	198.80-			
.....										
03/07/2022	0000001420	02	BROOKS LEMUEL R III		99	071000010	BROOKS LEMUEL R III			
	NET ADV TAX		332.85-			77.85-	186.32-		68.68-	
.....										
03/07/2022	0000001429	01	BROOKS MARGARET ANN E		99	071450010	BROOKS MARGARET ANN E			
	NET ADV TAX		194.34-			57.27-	137.07-			
.....										
03/07/2022	0000001430	01	BROOKS MARGARET ANN E		99	071500010	BROOKS MARGARET ANN E			
	NET ADV TAX		10.99-			3.24-	7.75-			
.....										
03/07/2022	0000001436	03	BROOKS MARGARET E		99	071800010	BROOKS MARGARET E			
	NET ADV TAX		158.36-			46.67-	111.69-			
.....										
03/07/2022	0000004378	02	FULBRIGHT INC		99	218900010	FULBRIGHT INC			
	NET ADV TAX		264.94-			61.97-	148.30-		54.67-	
.....										

DATE CATEGORY	BILL NUM TRAN TYPE	DIST	NAME TOTAL TAX	STATE	CC COUNTY	CHECK NUM SCHOOL	PAID BY	STR LGT	THOMSON	FIRE FEE
03/07/2022	0000004413	02	GAIL FULBRIGHT RENTALS		99	220650010	GAIL FULBRIGHT RENTALS			
	NET ADV TAX		250.98-		58.70-	140.49-			51.79-	
.....										
03/07/2022	0000005967	01	HILLCREST FARMS INC		99	298350010	HILLCREST FARMS INC			
	NET ADV TAX		104.31-		30.74-	73.57-				
.....										
03/07/2022	0000005995	01	HINSON LAWRENCE DAVID &		99	299750010	HINSON LAWRENCE DAVID &			
	NET ADV TAX		399.55-		117.74-	281.81-				
.....										
03/07/2022	0000009316	01	MIXON JAMES E JR &		99	465800010	MIXON JAMES E JR &			
	NET ADV TAX		75.15-		22.15-	53.00-				
.....										
03/07/2022	0000009669	01	MYERS STEVEN A		99	483450001	MYERS STEVEN A			
	NET ADV TAX		311.62-		91.83-	219.79-				
.....										
03/07/2022	0000011737	01	RODGERS ANDY STEPHEN &		99	586850010	RODGERS ANDY STEPHEN &			
	NET ADV TAX		13.70-		4.04-	9.66-				
.....										
03/07/2022	0000011755	01	RODGERS MARK A &		99	587750010	RODGERS MARK A &			
	NET ADV TAX		53.00-		15.62-	37.38-				
.....										
03/07/2022	0000012670	01	SPEER LAND COMPANY LLC		99	633500010	SPEER LAND COMPANY LLC			
	NET ADV TAX		2369.36-		698.23-	1671.13-				
.....										
03/07/2022	0000013933	01	WASHINGTON PLACE IN THOM		99	696650010	WASHINGTON PLACE IN THOM			
	NET ADV TAX		13893.39-		4094.25-	9799.14-				
.....										
03/07/2022	0000014883	01	YELTON PROPERTIES LLC		99	744150010	YELTON PROPERTIES LLC			
	NET ADV TAX		224.56-		66.18-	158.38-				
.....										

DATE CATEGORY	BILL NUM TRAN	DIST TYPE	NAME TOTAL TAX	STATE	CC COUNTY	CHECK NUM SCHOOL	PAID BY	STR LGT	THOMSON	FIRE FEE
03/07/2022	0000014906	02	YELTON PROPERTIES LLC		99	745300010	YELTON PROPERTIES LLC			
NET ADV TAX			623.37-		145.79-	348.94-			128.64-	
.....										
03/07/2022	0000014916	02	YELTON PROPERTIES LLC		99	745800010	YELTON PROPERTIES LLC			
NET ADV TAX			193.59-		45.28-	108.36-			39.95-	
.....										
03/07/2022	0000014928	02	YELTON PROPERTIES LLC		99	746400010	YELTON PROPERTIES LLC			
NET ADV TAX			749.73-		175.35-	419.67-			154.71-	
.....										
03/07/2022	0000014930	01	YELTON PROPERTIES LLC		99	746500010	YELTON PROPERTIES LLC			
NET ADV TAX			81.23-		23.94-	57.29-				
.....										

RUN TOTALS

TOTAL BILLS PRINTED - 000024

TOTAL TRANS PRINTED - 000000

TOTAL LINES PRINTED - 000054

TOTAL E&A / E&R

CATEGORY	RUN TOTALS CITY	STATE	COUNTY	SCHOOL		STR LGT	THOMSON	FIRE FEE	
ADV TAX	3123.50-		922.48-	2201.02-					
TOTALS	3123.50-	.00	922.48-	2201.02-	.00	.00	.00	.00	.00
11 = COUNT						117,205 = VALUE			

TOTAL NET BILLING

CATEGORY	RUN TOTALS CITY	STATE	COUNTY	SCHOOL		STR LGT	THOMSON	FIRE FEE	
ADV TAX	3123.50-		922.48-	2201.02-					
TOTALS	3123.50-	.00	922.48-	2201.02-	.00	.00	.00	.00	.00

TOTAL NET AMOUNT

CATEGORY	RUN TOTALS CITY	STATE	COUNTY	SCHOOL		STR LGT	THOMSON	FIRE FEE	
ADV TAX	3123.50-		922.48-	2201.02-					
TOTALS	3123.50-	.00	922.48-	2201.02-	.00	.00	.00	.00	.00

REPORT FOR ALL CASHIERS

ALL APPS TOTAL DEPOSIT

DATE	BILL NUM	DIST	NAME	CC	CHECK NUM	PAID BY	STR LGT	THOMSON
CATEGORY	TRAN TYPE	RUN	TOTALS	COUNTY	SCHOOL	.		
			CITY					
03/08/2022	0000001867	01	ROBERTS THOMAS LEE	99	693600001	ROBERTS THOMAS LEE		
NET ADV TAX			295.01-	88.95-	206.06-			

TOTAL E&A / E&R

CATEGORY	RUN TOTALS CITY	STATE	COUNTY	SCHOOL	.	STR LGT	THOMSON		
ADV TAX	295.01-		88.95-	206.06-					
TOTALS	295.01-	.00	88.95-	206.06-	.00	.00	.00	.00	.00
1 = COUNT						10,465 = VALUE			

TOTAL NET BILLING

CATEGORY	RUN TOTALS CITY	STATE	COUNTY	SCHOOL	.	STR LGT	THOMSON		
ADV TAX	295.01-		88.95-	206.06-					
TOTALS	295.01-	.00	88.95-	206.06-	.00	.00	.00	.00	.00

TOTAL NET AMOUNT

CATEGORY	RUN TOTALS CITY	STATE	COUNTY	SCHOOL		STR LGT	THOMSON		
ADV TAX	295.01-		88.95-	206.06-					
TOTALS	295.01-	.00	88.95-	206.06-	.00	.00	.00	.00	.00

DATE CATEGORY	BILL NUM TRAN TYPE	DIST RUN	NAME TOTALS CITY	STATE	CC COUNTY	CHECK NUM SCHOOL	PAID BY	STR LGT	THOMSON	FIRE FEE
03/08/2022	0000001517	01	LANDERS JIMMIE L		97	420300001	LANDERS JIMMIE L			
	NET ADV TAX		108.38		31.94	76.44				
.....										
03/08/2022	0000001547	01	LEVESQUE LUANN		97	429300001	LEVESQUE LUANN			
	NET ADV TAX		448.84		132.27	316.57				
.....										
03/08/2022	0000001712	01	MCKAY MARLENE Y		99	478200001	MCKAY MARLENE Y			
	NET ADV TAX		159.52		47.01	112.51				
.....										
03/08/2022	0000002164	01	ROBERTS THOMAS LEE		99	608100001	ROBERTS THOMAS LEE			
	NET ADV TAX		296.07-		87.25-	208.82-				
.....										
03/08/2022	0000002551	01	WARR VASHTI S		99	720000001	WARR VASHTI S			
	*** NO TAX DUE									
.....										
03/08/2022	0000002800	01	YOUNG HAROLD E		99	789600001	YOUNG HAROLD E			
	NET ADV TAX		27.96-		8.24-	19.72-				
.....										
03/01/2022	0000002815	01	YARBOUGH MARY		99	782550001	YARBOUGH MARY			
	*** NO TAX DUE									
.....										
03/01/2022	0000002816	01	TAYLOR RICHARD		99	680250001	TAYLOR RICHARD			
	*** NO TAX DUE									
.....										

TOTAL E&A / E&R

CATEGORY	RUN TOTALS CITY	STATE	COUNTY	SCHOOL		STR LGT	THOMSON	FIRE FEE	
ADV TAX	2828.49-		833.53-	1994.96-					
TOTALS	2828.49-	.00	833.53-	1994.96-	.00	.00	.00	.00	.00
10 = COUNT						106,740 = VALUE			

TOTAL NET BILLING

CATEGORY	RUN TOTALS CITY	STATE	COUNTY	SCHOOL		STR LGT	THOMSON	FIRE FEE	
ADV TAX	2828.49-		833.53-	1994.96-					
TOTALS	2828.49-	.00	833.53-	1994.96-	.00	.00	.00	.00	.00

TOTAL NET AMOUNT

CATEGORY	RUN TOTALS CITY	STATE	COUNTY	SCHOOL	.	STR LGT	THOMSON	FIRE FEE	
ADV TAX	2828.49-		833.53-	1994.96-					
TOTALS	2828.49-	.00	833.53-	1994.96-	.00	.00	.00	.00	.00

RUN TOTALS


TOTAL BILLS PRINTED - 000019

TOTAL TRANS PRINTED - 000000

TOTAL LINES PRINTED - 000064

STAFF REPORT

COMMISSIONERS' MEETING: April 19, 2022

DATE: April 15, 2022
TO: Board of Commissioners
FROM: David R. Crawley, County Manager 
ISSUE: Monthly Budget Report

BACKGROUND: The Budget Report is provided monthly to the Board of Commissioners.

FACTS AND FINDINGS:

1. Budget report is provided through March 31st, which represents 25.0% of the year.
2. Expended and Collected:

Fund	Year to Date Expended	Percentage Used	Year to Date Revenue	Percentage Collected
General Fund	\$3,344,226.21	24.1%	\$2,246,627.44	16.1%
Landfill Surcharge	\$3,973.75	12.0%	\$9,397.51	28.4%
Law Library	\$322.95	1.8%	\$0.00	0.0%
Forfeiture Fund	\$0.00	0.0%	\$0.00	0.0%
Drug Fund	\$1,351.51	8.4%	\$7,673.98	48.0%
Jail Fund	\$8,371.26	20.8%	\$15,811.77	34.2%
Drug Court	\$38,577.76	23.7%	\$34,298.00	21.1%
E911	\$176,785.59	19.4%	\$150,477.90	16.5%
E911 Wireless	\$0.00	0.0%	\$0.00	0.0%
CDBG	\$30.00	0.0%	\$0.00	0.0%
Juvenile Probation	\$0.00	0.0%	\$0.00	0.0%
AR Funds	\$0.00	0.0%	\$0.06	0.0%
Multiple Grants	\$115,319.36	240.2%	\$109,531.55	228.2%
Transportation	\$91,783.66	25.0%	\$111,479.63	30.1%
Fire and EMS	\$1,354,571.34	26.2%	\$758,106.35	14.3%
Hotel Motel	\$63,647.51	25.3%	\$55,602.01	22.1%
SPLOST IV	\$341.25	0.3%	\$5.50	0.0%
SPLOST V	\$18,898.42	31.0%	\$2.52	0.0%
SPLOST VI	\$6,690.00	0.2%	\$175.87	0.0%
SPLOST VII	\$406,521.92	10.7%	\$983,325.36	26.0%
T-SPLOST	\$1,191,192.67	47.6%	\$2,593,037.97	103.6%
Wrightsboro Road	\$0.00	0.0%	\$0.00	0.0%
LMIG	\$0.00	0.0%	\$0.00	0.0%
Debt Service Fund	\$0.00	0.0%	\$0.00	0.0%
Solid Waste	\$417,283.63	23.7%	\$459,340.17	26.1%
Campgrounds	\$40,941.00	15.3%	\$91,010.00	33.7%
Lawn Care	\$18,664.96	17.7%	\$33,389.54	31.6%
County Shop	\$59,048.19	24.9%	\$63,540.71	26.8%
Total	\$7,358,542.94	19.1%	\$7,722,833.84	19.9%

3. Solid Waste has earned \$42,056.54.
4. Campgrounds have earned \$50,069.00.
5. The General Fund has contributed \$46,364.84 to E911.
6. Transit has earned \$19,695.97.
7. Fire and EMS has expenses of \$1,354,571.34 and revenue of \$758,106.35.

ALTERNATIVES: None

FUNDING: None

POLICY ANALYSIS: None

RECOMMENDATION: None at this time.

ATTACHMENTS: Year to Date Budget Reports.

FOR 2022 03

	ORIGINAL APPROP	REVISED BUDGET	YTD EXPENDED	MTD EXPENDED	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
100 GENERAL FUND							
1001110 GOVERNING BODY	278,086	278,086	99,126.18	42,265.83	.00	178,959.82	35.6%
1001320 COUNTY MANAGER'S OFFICE	349,235	349,235	98,571.36	24,959.03	.00	250,663.64	28.2%
1001400 ELECTIONS	622,662	622,662	113,123.93	30,881.09	243.41	509,294.66	18.2%
1001500 GENERAL ADMINISTRATION	1,026,165	1,022,381	118,158.94	31,587.28	.00	904,222.06	11.6%
1001501 GOVERNMENT CENTER COMPLEX	117,240	117,240	29,739.39	9,980.86	.00	87,500.61	25.4%
1001502 EMPLOYEE RELATIONS	5,000	5,000	2,198.59	472.81	.00	2,801.41	44.0%
1001510 FINANCE ADMINISTRATION	345,285	345,285	85,860.40	19,819.87	.00	259,424.60	24.9%
1001536 TECHNICAL SUPPORT	411,581	411,581	112,672.66	51,849.58	21,331.92	277,576.42	32.6%
1001550 TAX COMMISSIONER	376,236	376,236	88,231.99	26,239.19	.00	288,004.01	23.5%
1001550 TAX ASSESSOR	336,190	336,190	94,299.01	46,954.06	29.00	241,861.99	28.1%
1001560 BOARD OF EQUALIZATION	5,346	5,346	1,475.29	789.32	.00	3,870.71	27.6%
1001565 GENERAL GOVERNMENT BUILDINGS	258,229	258,229	82,233.51	28,671.70	.00	175,995.49	31.8%
1002150 SUPERIOR COURT	136,703	136,703	27,242.96	8,231.62	.00	109,460.04	19.9%
1002180 CLERK OF SUPERIOR COURT	411,424	411,424	113,989.61	32,459.81	.00	297,434.39	27.7%
1002200 DISTRICT ATTORNEY	212,976	212,976	48,503.89	14,639.84	.00	164,472.11	22.8%
1002215 CHILD SUPPORT	4,000	4,000	1,183.22	375.66	.00	2,816.78	29.6%
1002400 MAGISTRATE COURT	170,878	170,878	46,993.43	15,573.19	.00	123,884.57	27.5%
1002450 PROBATE COURT	240,221	240,221	60,240.96	16,924.78	98.59	179,881.45	25.1%
1002600 JUVENILE COURT	135,476	135,476	27,727.61	9,617.16	.00	107,748.39	20.5%
1002800 PUBLIC DEFENDER	87,135	87,135	20,851.23	9,398.48	.00	66,283.77	23.9%
1003300 SHERIFF	4,698,913	4,698,913	1,168,803.36	297,491.81	207.50	3,529,902.14	24.9%
1003301 SHERIFF ADMINISTRATIVE	201,432	201,432	1,742.35	.00	.00	199,689.65	.9%
1003700 CORONER	38,969	38,969	10,959.84	3,450.98	.00	28,009.16	28.1%
1003910 ANIMAL SHELTER	100,311	100,311	23,627.07	7,118.64	.00	76,683.93	23.6%
1004100 PUBLIC WORKS	1,284,392	1,284,392	364,557.33	124,779.93	.00	919,834.67	28.4%
1004550 RECYCLING	5,000	5,000	6,730.00	3,375.00	.00	-1,730.00	134.6%
1005110 HEALTH DEPT	120,500	120,500	30,969.87	10,619.62	.00	89,530.13	25.7%
1005115 MENTAL HEALTH	6,575	6,575	2,611.99	1,071.29	.00	3,963.01	39.7%
1005400 FAMILY & CHILDREN SERVICES	40,439	40,439	9,099.84	4,116.06	.00	31,339.16	22.5%
1005510 MEALS ON WHEELS	67,093	67,093	20,767.09	5,570.77	185.17	46,140.74	31.2%
1005520 SENIOR CITIZENS	108,691	112,475	29,945.79	9,366.62	112.44	82,416.77	26.7%
1006100 RECREATION	824,389	824,389	194,901.85	57,455.09	.00	629,487.15	23.6%
1006102 MAIN STREET GYM	16,099	16,099	4,553.01	2,307.79	.00	11,545.99	28.3%
1006149 BOYS & GIRLS CLUB	8,700	8,700	2,869.86	1,150.78	.00	5,830.14	33.0%
1006300 ROCKHOUSE	7,459	7,459	18,181.02	17,388.06	.00	-10,722.02	243.7%
1006500 LIBRARY	93,278	93,278	.00	.00	.00	93,278.00	.0%
1007130 COOPERATIVE EXTENSION	132,208	132,208	9,368.01	2,603.87	.00	122,839.99	7.1%
1007140 FORESTRY	8,820	8,820	8,820.00	.00	.00	500.00	100.0%
1007150 SOIL & WATER CONSERVATION	500	500	.00	.00	.00	500.00	.0%
1007400 PLANNING & ZONING	414,813	414,813	105,788.74	30,460.76	.00	309,024.26	25.5%

	ORIGINAL APPROP	REVISED BUDGET	YTD EXPENDED	MTD EXPENDED	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
1007520 DEVELOPMENT AUTHORITY	69,185	69,185	16,072.68	5,425.56	.00	53,112.32	23.2%
1007563 AIRPORT	93,637	93,637	21,760.68	8,673.58	.00	71,876.32	23.2%
1009000 TRANSFERS OUT	117,509	117,509	19,671.67	433.18	.00	97,837.33	16.7%
TOTAL GENERAL FUND	13,988,980	13,988,980	3,344,226.21	1,014,550.55	22,208.03	10,622,545.76	24.1%

200 LANDFILL SURCHARGE							

204970 LANDFILL SURCHARGE EXPENDITUR	33,133	33,133	3,973.75	3,161.25	.00	29,159.25	12.0%
TOTAL LANDFILL SURCHARGE	33,133	33,133	3,973.75	3,161.25	.00	29,159.25	12.0%

205 LAW LIBRARY							

2050000 LAW LIBRARY	17,510	17,510	322.95	215.30	.00	17,187.05	1.8%
TOTAL LAW LIBRARY	17,510	17,510	322.95	215.30	.00	17,187.05	1.8%

209 FORFEITURE FUND							

2093329 FORFEITURE FUND	14,500	14,500	.00	.00	.00	14,500.00	.0%
TOTAL FORFEITURE FUND	14,500	14,500	.00	.00	.00	14,500.00	.0%

210 DRUG FUND							

2103227 DRUG FUND	16,000	16,000	1,351.51	1,351.51	.00	14,648.49	8.4%
TOTAL DRUG FUND	16,000	16,000	1,351.51	1,351.51	.00	14,648.49	8.4%

211 JAIL FUND							

2113326 JAIL FUND	46,200	46,200	8,371.26	2,425.52	1,254.55	36,574.19	20.8%
TOTAL JAIL FUND	46,200	46,200	8,371.26	2,425.52	1,254.55	36,574.19	20.8%

212	DRUG COURT	ORIGINAL APPROP	REVISED BUDGET	YTD EXPENDED	MTD EXPENDED	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
212	DRUG COURT							
212	DRUG COURT							
2122160	DRUG COURT EXPENSES	162,728	162,728	38,577.76	9,790.00	.00	124,150.24	23.7%
	TOTAL DRUG COURT	162,728	162,728	38,577.76	9,790.00	.00	124,150.24	23.7%
215	E911							
2153800	E911	912,363	912,363	176,785.59	51,804.60	.00	735,577.41	19.4%
	TOTAL E911	912,363	912,363	176,785.59	51,804.60	.00	735,577.41	19.4%
216	E911 WIRELESS							
2166810	E911 WIRELESS	28,500	28,500	.00	.00	.00	28,500.00	.0%
	TOTAL E911 WIRELESS	28,500	28,500	.00	.00	.00	28,500.00	.0%
220	GRANTS EXCEED 2% GENERAL FUND							
2204981	COMMUNITY BLOCK DEV. GRANTS	1,000,000	1,000,000	30.00	30.00	.00	999,970.00	.0%
	TOTAL GRANTS EXCEED 2% GENERAL FU	1,000,000	1,000,000	30.00	30.00	.00	999,970.00	.0%
225	JUVENILE PROBATION							
2250000	JUVENILE PROBATION	500	500	.00	.00	.00	500.00	.0%
	TOTAL JUVENILE PROBATION	500	500	.00	.00	.00	500.00	.0%
230	AMERICAN RESCUE FUNDS							

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230	AMERICAN RESCUE FUNDS	ORIGINAL APPROP	REVISED BUDGET	YTD EXPENDED	MTD EXPENDED	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
2304981	AMERICAN RESCUE EXPENSES	2,069,903	2,069,903	.00	.00	.00	2,069,903.00	.0%
	TOTAL AMERICAN RESCUE FUNDS	2,069,903	2,069,903	.00	.00	.00	2,069,903.00	.0%

250	MULTIPLE GRANTS							
2504981	SMALL GRANT EXPENDITURES	48,000	48,000	115,319.36	101,408.25	.00	-67,319.36	240.2%
	TOTAL MULTIPLE GRANTS	48,000	48,000	115,319.36	101,408.25	.00	-67,319.36	240.2%

256	TRANSPORTATION							
2565540	TRANSPORTATION EXPENSES	370,080	370,080	91,783.66	25,484.85	735.00	277,561.34	25.0%
	TOTAL TRANSPORTATION	370,080	370,080	91,783.66	25,484.85	735.00	277,561.34	25.0%

270	FIRE/EMS PROTECTION SERVICES							
2701510	BILLING DEPARTMENT	108,316	108,316	30,500.73	8,315.64	.00	77,815.27	28.2%
2703500	FIRE/EMS PROTECTION SERVICES	5,041,914	5,086,714	1,316,909.43	375,398.33	30,079.55	3,739,725.02	26.5%
2703920	EMERGENCY MANAGEMENT	88,797	88,797	7,161.18	250.53	.00	81,635.82	8.1%
	TOTAL FIRE/EMS PROTECTION SERVICE	5,239,027	5,283,827	1,354,571.34	383,964.50	30,079.55	3,899,176.11	26.2%

275	HOTEL/MOTEL/TOURISM							
2754970	HOTEL/MOTEL/TOURISM	252,000	252,000	63,647.51	28,086.39	.00	188,352.49	25.3%
	TOTAL HOTEL/MOTEL/TOURISM	252,000	252,000	63,647.51	28,086.39	.00	188,352.49	25.3%

326	SPLOST IV							
3264963	EXPENDITURES	113,100	113,100	341.25	.00	.00	112,758.75	.3%
	TOTAL SPLOST IV	113,100	113,100	341.25	.00	.00	112,758.75	.3%

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327	SPLOST V	ORIGINAL APPROP	REVISED BUDGET	YTD EXPENDED	MTD EXPENDED	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
327	SPLOST V							
327	SPLOST V							
3274967	SPLOST V - EXPENDITURES	61,000	61,000	18,898.42	450.00	.00	42,101.58	31.0%
	TOTAL SPLOST V	61,000	61,000	18,898.42	450.00	.00	42,101.58	31.0%
328	SPLOST VI							
3284969	SPLOST VI EXPENDITURES	3,500,000	3,500,000	6,690.00	.00	.00	3,493,310.00	.2%
	TOTAL SPLOST VI	3,500,000	3,500,000	6,690.00	.00	.00	3,493,310.00	.2%
329	SPLOST VII							
3294961	SPLOST VII EXPENDITURES	3,786,536	3,786,536	406,521.92	299,590.00	.00	3,380,014.08	10.7%
	TOTAL SPLOST VII	3,786,536	3,786,536	406,521.92	299,590.00	.00	3,380,014.08	10.7%
330	TRANSPORTATION SPLOST							
3304974	TRANSPORTATION EXPENSES	2,504,000	2,504,000	1,191,192.67	24,068.67	.00	1,312,807.33	47.6%
	TOTAL TRANSPORTATION SPLOST	2,504,000	2,504,000	1,191,192.67	24,068.67	.00	1,312,807.33	47.6%
341	WRIGHTSBORO ROAD SEWER							
3414481	SEWER PROJECT EXPENDITURES	1,750,000	1,750,000	.00	.00	.00	1,750,000.00	.0%
	TOTAL WRIGHTSBORO ROAD SEWER	1,750,000	1,750,000	.00	.00	.00	1,750,000.00	.0%
345	LOCAL MAINTENANCE & IMPROVEMEN							

FOR 2022 03

	ORIGINAL APPROP	REVISED BUDGET	YTD EXPENDED	MTD EXPENDED	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
345 LOCAL MAINTENANCE & IMPROVEMEN							
3454974 LMIG EXPENDITURES	450,000	450,000	.00	.00	.00	450,000.00	.0%
TOTAL LOCAL MAINTENANCE & IMPROVE	450,000	450,000	.00	.00	.00	450,000.00	.0%
540 SOLID WASTE							
5404500 SOLID WASTE	1,760,883	1,760,883	417,283.63	126,283.58	.00	1,343,599.37	23.7%
TOTAL SOLID WASTE	1,760,883	1,760,883	417,283.63	126,283.58	.00	1,343,599.37	23.7%
555 CAMPGROUNDS							
5556201 RAYSVILLE CAMPGROUND EXPENSE	160,000	160,000	20,740.92	7,990.93	.00	139,259.08	13.0%
5556401 BIG HART EXPENSES	110,000	110,000	20,200.08	7,914.38	246.48	89,553.44	18.6%
TOTAL CAMPGROUNDS	270,000	270,000	40,941.00	15,905.31	246.48	228,812.52	15.3%
610 LAWN CARE							
6101566 LAWN CARE SERVICES	105,581	105,581	18,664.96	4,888.29	.00	86,916.04	17.7%
TOTAL LAWN CARE	105,581	105,581	18,664.96	4,888.29	.00	86,916.04	17.7%
650 COUNTY SHOP							
6504900 COUNTY SHOP EXPENDITURES	237,191	237,191	59,048.19	22,093.95	7.99	178,134.82	24.9%
TOTAL COUNTY SHOP	237,191	237,191	59,048.19	22,093.95	7.99	178,134.82	24.9%
GRAND TOTAL	38,737,715	38,782,515	7,358,542.94	2,115,552.52	54,531.60	31,369,440.46	19.1%

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FOR 2022 03

	ORIGINAL ESTIM REV	REVISED EST REV	ACTUAL YTD REVENUE	ACTUAL MTD REVENUE	REMAINING REVENUE	PCT COLL
100 GENERAL FUND						
31150000 GENERAL ADMINISTRATION	-4,850,386	-4,850,386	-1,126,061.47	-379,181.67	-3,724,324.53	23.2%
31154500 TAX COMMISSIONER	-5,574,523	-5,574,523	-294,344.81	-113,749.32	-5,280,178.19	5.3%
32610000 RECREATION	-110,400	-110,400	-35,311.90	-15,987.00	-75,088.10	32.0%
32740000 PLANNING & ZONING ADMINISTRATION	-276,450	-276,450	-111,274.61	-21,914.43	-165,175.39	40.3%
33551000 MEALS ON WHEELS	-3,800	-3,800	-1,030.55	-354.50	-2,769.45	27.1%
33552000 SENIOR CITIZENS	-8,000	-8,000	-210.00	-210.00	-7,790.00	2.6%
34110000 REIMBURSEMENTS	-1,246,985	-1,246,985	-318,898.82	-114,150.43	-928,086.18	25.6%
34150100 GOV'T CTR REIMBURSEMENT-CITY	-117,100	-117,100	-28,242.31	-9,443.26	-88,857.69	24.1%
34150200 EMPLOYEE RELATIONS REVENUE	-5,000	-5,000	.00	.00	-5,000.00	.0%
34155000 TAX ASSESSOR	-4,500	-4,500	-3,214.00	-2,727.00	-1,286.00	71.4%
34330000 SHERIFF	-338,910	-338,910	-56,871.45	-34,298.83	-282,038.55	16.8%
34330100 SHERIFF ADMIN. REVENUE	-201,432	-201,432	-16,462.77	.00	-184,969.23	8.2%
34391000 ANIMAL SHELTER	-4,500	-4,500	-2,870.30	-1,014.30	-1,629.70	63.8%
34410000 PUBLIC WORKS REVENUE	-10,025	-10,025	-1,504.90	-525.00	-8,520.10	15.0%
35100000 CLERK OF SUPERIOR COURT	-336,000	-336,000	-89,926.49	-24,664.06	-246,073.51	26.8%
35240000 MAGISTRATE COURT	-86,000	-86,000	-13,120.72	-3,618.31	-72,879.28	15.3%
35245000 PROBATE COURT	-692,050	-692,050	-125,297.61	-39,216.80	-566,752.39	18.1%
39100000 INTERFUND TRANSFERS	-122,919	-122,919	-21,984.73	-14,005.02	-100,934.27	17.9%
TOTAL GENERAL FUND	-13,988,980	-13,988,980	-2,246,627.44	-775,059.93	-11,742,352.56	16.1%
200 LANDFILL SURCHARGE						
204870 LANDFILL SURCHARGE	-33,133	-33,133	-9,397.51	.00	-23,735.49	28.4%
TOTAL LANDFILL SURCHARGE	-33,133	-33,133	-9,397.51	.00	-23,735.49	28.4%
205 LAW LIBRARY						
2050000 LAW LIBRARY	-17,510	-17,510	.00	.00	-17,510.00	.0%
TOTAL LAW LIBRARY	-17,510	-17,510	.00	.00	-17,510.00	.0%
209 FORFEITURE FUND						

FOR 2022 03

	ORIGINAL ESTIM REV	REVISED EST REV	ACTUAL YTD REVENUE	ACTUAL MTD REVENUE	REMAINING REVENUE	PCT COLL
35332900 FORFEITURE FUND	-14,500	-14,500	.00	.00	-14,500.00	.0%
TOTAL FORFEITURE FUND	-14,500	-14,500	.00	.00	-14,500.00	.0%
210 DRUG FUND						
35800000 DRUG FUND	-16,000	-16,000	-7,673.98	-1,120.04	-8,326.02	48.0%
TOTAL DRUG FUND	-16,000	-16,000	-7,673.98	-1,120.04	-8,326.02	48.0%
211 JAIL FUND						
35900000 JAIL FUND	-46,200	-46,200	-15,811.77	-5,332.42	-30,388.23	34.2%
TOTAL JAIL FUND	-46,200	-46,200	-15,811.77	-5,332.42	-30,388.23	34.2%
212 DRUG COURT						
35216000 DRUG COURT	-162,728	-162,728	-34,298.00	-31,633.00	-128,430.00	21.1%
TOTAL DRUG COURT	-162,728	-162,728	-34,298.00	-31,633.00	-128,430.00	21.1%
215 E911						
38100000 E911	-912,363	-912,363	-150,477.90	-42,265.44	-761,885.10	16.5%
TOTAL E911	-912,363	-912,363	-150,477.90	-42,265.44	-761,885.10	16.5%
216 E911 WIRELESS						
2166810 E911 WIRELESS	-28,500	-28,500	.00	.00	-28,500.00	.0%
TOTAL E911 WIRELESS	-28,500	-28,500	.00	.00	-28,500.00	.0%
220 GRANTS EXCEED 2% GENERAL FUND						

FOR 2022 03

	ORIGINAL ESTIM REV	REVISED EST REV	ACTUAL YTD REVENUE	ACTUAL MTD REVENUE	REMAINING REVENUE	PCT COLL
2204980 GRANT REVENUE	-1,000,000	-1,000,000	.00	.00	-1,000,000.00	.0%
TOTAL GRANTS EXCEED 2% GENERAL FU	-1,000,000	-1,000,000	.00	.00	-1,000,000.00	.0%
225 JUVENILE PROBATION						
2250000 JUVENILE PROBATION	-500	-500	.00	.00	-500.00	.0%
TOTAL JUVENILE PROBATION	-500	-500	.00	.00	-500.00	.0%
230 AMERICAN RESCUE FUNDS						
2304980 AMERICAN RESCUE REVENUE	-2,069,903	-2,069,903	-.06	-.02	-2,069,902.94	.0%
TOTAL AMERICAN RESCUE FUNDS	-2,069,903	-2,069,903	-.06	-.02	-2,069,902.94	.0%
250 MULTIPLE GRANTS						
2504980 SMALL GRANT REVENUES	-48,000	-48,000	-109,531.55	-92,802.40	61,531.55	228.2%
TOTAL MULTIPLE GRANTS	-48,000	-48,000	-109,531.55	-92,802.40	61,531.55	228.2%
256 TRANSPORTATION						
2565541 TRANSPORTATION REVENUE	-370,080	-370,080	-111,479.63	-35,289.52	-258,600.37	30.1%
TOTAL TRANSPORTATION	-370,080	-370,080	-111,479.63	-35,289.52	-258,600.37	30.1%
270 FIRE/EMS PROTECTION SERVICES						
34350001 FIRE/EMS PROTECTION REVENUES	-5,239,027	-5,283,827	-758,106.35	-217,561.39	-4,525,720.65	14.3%
TOTAL FIRE/EMS PROTECTION SERVICE	-5,239,027	-5,283,827	-758,106.35	-217,561.39	-4,525,720.65	14.3%
275 HOTEL/MOTEL/TOURISM						

FOR 2022 03

	ORIGINAL ESTIM REV	REVISED EST REV	ACTUAL YTD REVENUE	ACTUAL MTD REVENUE	REMAINING REVENUE	PCT COLL
2750000 HOTEL/MOTEL TAX	-252,000	-252,000	-55,602.01	-20,040.89	-196,397.99	22.1%
TOTAL HOTEL/MOTEL/TOURISM	-252,000	-252,000	-55,602.01	-20,040.89	-196,397.99	22.1%
326 SPLOST IV						
3264962 REVENUES	-113,100	-113,100	-5.50	-1.89	-113,094.50	.0%
TOTAL SPLOST IV	-113,100	-113,100	-5.50	-1.89	-113,094.50	.0%
327 SPLOST V						
3274966 SPLOST V - REVENUES	-61,000	-61,000	-2.52	-.66	-60,997.48	.0%
TOTAL SPLOST V	-61,000	-61,000	-2.52	-.66	-60,997.48	.0%
328 SPLOST VI						
3284968 SPLOST VI REVENUES	-3,500,000	-3,500,000	-175.87	-60.55	-3,499,824.13	.0%
TOTAL SPLOST VI	-3,500,000	-3,500,000	-175.87	-60.55	-3,499,824.13	.0%
329 SPLOST VII						
3294960 SPLOST VII - REVENUES	-3,786,536	-3,786,536	-983,325.36	-317,489.29	-2,803,210.64	26.0%
TOTAL SPLOST VII	-3,786,536	-3,786,536	-983,325.36	-317,489.29	-2,803,210.64	26.0%
330 TRANSPORTATION SPLOST						
33031000 TRANSPORTATION SPLOST	-2,504,000	-2,504,000	-2,593,037.97	-462,480.05	89,037.97	103.6%
TOTAL TRANSPORTATION SPLOST	-2,504,000	-2,504,000	-2,593,037.97	-462,480.05	89,037.97	103.6%
341 WRIGHTSBORO ROAD SEWER						

FOR 2022 03

	ORIGINAL ESTIM REV	REVISED EST REV	ACTUAL YTD REVENUE	ACTUAL MTD REVENUE	REMAINING REVENUE	PCT COLL
3414480 SEWER PROJECT REVENUES	-1,000,000	-1,000,000	.00	.00	-1,000,000.00	.0%
3414481 SEWER PROJECT EXPENDITURES	-750,000	-750,000	.00	.00	-750,000.00	.0%
TOTAL WRIGHTSBORO ROAD SEWER	-1,750,000	-1,750,000	.00	.00	-1,750,000.00	.0%
345 LOCAL MAINTENANCE & IMPROVEMEN						
3454975 LMIG REVENUES	-450,000	-450,000	.00	.00	-450,000.00	.0%
TOTAL LOCAL MAINTENANCE & IMPROVE	-450,000	-450,000	.00	.00	-450,000.00	.0%
540 SOLID WASTE						
32450000 SOLID WASTE	-1,760,883	-1,760,883	-459,340.17	-257,579.49	-1,301,542.83	26.1%
TOTAL SOLID WASTE	-1,760,883	-1,760,883	-459,340.17	-257,579.49	-1,301,542.83	26.1%
555 CAMPGROUNDS						
5556200 RAYSVILLE CAMPGROUND REVENUE	-160,000	-160,000	-38,340.00	-15,780.00	-121,660.00	24.0%
5556400 BIG HART REVENUE	-110,000	-110,000	-52,670.00	-17,730.00	-57,330.00	47.9%
TOTAL CAMPGROUNDS	-270,000	-270,000	-91,010.00	-33,510.00	-178,990.00	33.7%
610 LAWN CARE						
39156600 LAWN CARE REVENUES	-105,581	-105,581	-33,389.54	-17,202.72	-72,191.46	31.6%
TOTAL LAWN CARE	-105,581	-105,581	-33,389.54	-17,202.72	-72,191.46	31.6%
650 COUNTY SHOP						
6504901 COUNTY SHOP REVENUES	-237,191	-237,191	-63,540.71	-22,091.01	-173,650.29	26.8%
TOTAL COUNTY SHOP	-237,191	-237,191	-63,540.71	-22,091.01	-173,650.29	26.8%
GRAND TOTAL	-38,737,715	-38,782,515	-7,722,833.84	-2,331,520.71	-31,059,681.16	19.9%

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MCDUFFIE COUNTY
YEAR-TO-DATE BUDGET REPORT

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FOR 2022 03

ORIGINAL ESTIM REV	REVISED EST REV	ACTUAL YTD REVENUE	ACTUAL MTD REVENUE	REMAINING REVENUE	PCT COLL
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FOR 2022 03

ACCOUNTS FOR:	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
540 SOLID WASTE							
32450000 SOLID WASTE							
32450000 323300 TIP FEES	-1,689,783	-1,689,783	-439,343.49	-246,767.18	.00	-1,250,439.51	26.0%*
32450000 344131 TIRES	-10,000	-10,000	-780.50	-332.00	.00	-9,219.50	7.8%*
32450000 344132 INERT	-50,000	-50,000	-16,143.50	-9,661.45	.00	-33,856.50	32.3%*
32450000 361000 INT REV	-1,000	-1,000	-28.68	-18.86	.00	-971.32	2.9%*
32450000 389001 MISC REV	-100	-100	.00	.00	.00	-100.00	.0%*
32450000 389051 SCRAP	-10,000	-10,000	-3,044.00	-800.00	.00	-6,956.00	30.4%*
TOTAL SOLID WASTE	-1,760,883	-1,760,883	-459,340.17	-257,579.49	.00	-1,301,542.83	26.1%

FOR 2022 03

ACCOUNTS FOR: 540 SOLID WASTE	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
5404500 SOLID WASTE							
5404500 511100 REG SAL	231,483	231,483	38,384.69	11,759.04	.00	193,098.31	16.6%
5404500 511300 OVERTIME	14,000	14,000	4,841.73	2,022.72	.00	9,158.27	34.6%
5404500 512100 GP INS HEA	48,064	48,064	11,027.88	2,756.97	.00	37,036.12	22.9%
5404500 512110 GP INS LIF	899	899	200.00	50.00	.00	699.00	22.2%
5404500 512200 FICA	15,220	15,220	2,596.54	823.74	.00	12,623.46	17.1%
5404500 512300 MICA	3,560	3,560	607.26	192.65	.00	2,952.74	17.1%
5404500 512400 PENSION	12,569	12,569	12,569.00	.00	.00	.00	100.0%
5404500 512700 WORKERS CO	9,000	9,000	10,428.99	.00	.00	-1,428.99	115.9%*
5404500 521200 PROFESS	2,000	2,000	.00	.00	.00	2,000.00	.0%
5404500 522200 CONTR R&M	10,000	10,000	445.95	.00	.00	9,554.05	4.5%
5404500 522250 INT SHOP	15,000	15,000	18,559.87	1,801.47	.00	-3,559.87	123.7%*
5404500 523110 PROP INS	2,097	2,097	.00	.00	.00	2,097.00	.0%
5404500 523210 TELEPHONE	1,000	1,000	234.24	78.09	.00	765.76	23.4%
5404500 523240 WIRELESS	1,300	1,300	212.85	94.50	.00	1,087.15	16.4%
5404500 523300 ADS	50	50	.00	.00	.00	50.00	.0%
5404500 523500 TRAVEL	400	400	.00	.00	.00	400.00	.0%
5404500 523600 DUES	250	250	.00	.00	.00	250.00	.0%
5404500 523700 SCHOOL	500	500	.00	.00	.00	500.00	.0%
5404500 523900 PURC SERV	12,275	12,275	629.63	419.83	.00	11,645.37	5.1%
5404500 523920 ENG/TEST	2,000	2,000	.00	.00	.00	2,000.00	.0%
5404500 523926 TRAN & DIS	1,217,197	1,217,197	265,899.68	90,582.86	.00	951,297.32	21.8%
5404500 523927 TRANS-TIRE	8,000	8,000	2,065.40	2,065.40	.00	5,934.60	25.8%
5404500 531100 GEN SUPPL	12,000	12,000	3,700.68	494.52	.00	8,299.32	30.8%
5404500 531110 OFF SUPP	1,700	1,700	79.98	79.98	.00	1,620.02	4.7%
5404500 531120 CLEAN SUPP	500	500	.00	.00	.00	500.00	.0%
5404500 531210 WA,SE,GAS	500	500	55.30	20.39	.00	444.70	11.1%
5404500 531230 ELECT	4,000	4,000	923.52	298.20	.00	3,076.48	23.1%
5404500 531270 GAS/DIESEL	12,000	12,000	7,056.64	2,298.41	.00	4,943.36	58.8%
5404500 531600 SM EQUIP	500	500	.00	.00	.00	500.00	.0%
5404500 531701 UNIFORMS	2,500	2,500	334.46	81.11	.00	2,165.54	13.4%
5404500 531709 INM WKFOR	53,816	53,816	18,743.57	5,055.50	.00	35,072.43	34.8%
5404500 551000 TRANS-OUT	33,133	33,133	9,397.51	9,397.51	.00	23,735.49	28.4%
5404500 551001 SURCHARGE	0	0	.00	-9,397.51	.00	.00	.0%
5404500 552201 REF/OVERPA	0	0	2,925.00	2,925.00	.00	-2,925.00	100.0%*
5404500 570001 POSTCLOSUR	16,317	16,317	794.95	794.95	.00	15,522.05	4.9%
5404500 611006 TRANS-SHOP	17,053	17,053	4,568.31	1,588.25	.00	12,484.69	26.8%
TOTAL SOLID WASTE	1,760,883	1,760,883	417,283.63	126,283.58	.00	1,343,599.37	23.7%
TOTAL SOLID WASTE	0	0	-42,056.54	-131,295.91	.00	42,056.54	100.0%
TOTAL REVENUES	-1,760,883	-1,760,883	-459,340.17	-257,579.49	.00	-1,301,542.83	
TOTAL EXPENSES	1,760,883	1,760,883	417,283.63	126,283.58	.00	1,343,599.37	

FOR 2022 03

ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
0	0	-42,056.54	-131,295.91	.00	42,056.54	100.0%

GRAND TOTAL

** END OF REPORT - Generated by Shirley **

FOR 2022 03

ACCOUNTS FOR:	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
555 CAMPGROUNDS							
5556200 RAYSVILLE CAMPGROUND REVENUE							
5556200 347500 CP RENTALS	-160,000	-160,000	-38,340.00	-15,780.00	.00	-121,660.00	24.0%*
TOTAL RAYSVILLE CAMPGROUND REVENU	-160,000	-160,000	-38,340.00	-15,780.00	.00	-121,660.00	24.0%

FOR 2022 03

ACCOUNTS FOR:	ORIGINAL	REVISED	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE	PCT
555 CAMPGROUNDS	APPROP	BUDGET				BUDGET	USE/COL
5556201 RAYSVILLE CAMPGROUND EXPENSES							
5556201 511100 REG SAL	18,138	18,138	4,185.60	1,395.20	.00	13,952.40	23.1%
5556201 512100 GP INS HEA	3,745	3,745	.00	.00	.00	3,745.00	.0%
5556201 512110 GP INS LIF	75	75	50.00	12.50	.00	25.00	66.7%
5556201 512200 FICA	1,125	1,125	256.98	85.66	.00	868.02	22.8%
5556201 512300 MICA	263	263	60.06	20.02	.00	202.94	22.8%
5556201 512700 WORKERS CO	40	40	.00	.00	.00	40.00	.0%
5556201 521200 PROFESS	3,000	3,000	150.00	.00	.00	2,850.00	5.0%
5556201 522230 R&M EQUIP	3,000	3,000	460.28	220.51	.00	2,539.72	15.3%
5556201 522240 R&M GROUND	3,000	3,000	.00	.00	.00	3,000.00	.0%
5556201 523110 PROP INS	279	279	.00	.00	.00	279.00	.0%
5556201 523210 TELEPHONE	0	0	8.82	2.94	.00	-8.82	100.0%*
5556201 523240 WIRELESS	1,000	1,000	419.75	.00	.00	580.25	42.0%
5556201 523300 ADS	500	500	.00	.00	.00	500.00	.0%
5556201 523601 MERCHANT	8,000	8,000	1,439.70	602.57	.00	6,560.30	18.0%
5556201 531100 GEN SUPPL	4,000	4,000	1,101.71	731.02	.00	2,898.29	27.5%
5556201 531110 OFF SUPP	200	200	.00	.00	.00	200.00	.0%
5556201 531210 WA, SE, GAS	9,000	9,000	1,339.13	214.10	.00	7,660.87	14.9%
5556201 531230 ELECT	19,000	19,000	5,813.51	2,589.63	.00	13,186.49	30.6%
5556201 531270 GAS/DIESEL	400	400	101.03	46.51	.00	298.97	25.3%
5556201 531600 SM EQUIP	2,000	2,000	.00	.00	.00	2,000.00	.0%
5556201 531701 UNIFORMS	1,000	1,000	.00	.00	.00	1,000.00	.0%
5556201 542500 EQUIPMENT	13,000	13,000	.00	.00	.00	13,000.00	.0%
5556201 552201 REF/OVERPA	10,000	10,000	2,850.00	780.00	.00	7,150.00	28.5%
5556201 579000 BUD. CONT	28,497	28,497	.00	.00	.00	28,497.00	.0%
5556201 611000 O.F. TRANS	22,819	22,819	.00	.00	.00	22,819.00	.0%
5556201 611005 TRANS-LC	7,919	7,919	2,504.35	1,290.27	.00	5,414.65	31.6%
TOTAL RAYSVILLE CAMPGROUND EXPEN	160,000	160,000	20,740.92	7,990.93	.00	139,259.08	13.0%

FOR 2022 03

ACCOUNTS FOR:	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
555 CAMEGROUNDS							
5556400 BIG HART REVENUE							
5556400 347500 CP RENTALS	-110,000	-110,000	-52,670.00	-17,730.00	.00	-57,330.00	47.9%*
TOTAL BIG HART REVENUE	-110,000	-110,000	-52,670.00	-17,730.00	.00	-57,330.00	47.9%

FOR 2022 03

ACCOUNTS FOR:	ORIGINAL	REVISED	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE	PCT
555	APPROP	BUDGET				BUDGET	USE/COL
5556401	18,138	18,138	4,185.60	1,395.20	.00	13,952.40	23.1%
5556401	3,745	3,745	2,496.80	624.20	.00	1,248.20	66.7%
5556401	75	75	.00	.00	.00	75.00	0%
5556401	1,125	1,125	256.98	85.66	.00	868.02	22.8%
5556401	263	263	60.12	20.04	.00	202.88	22.9%
5556401	3,000	3,000	420.00	135.00	.00	2,580.00	14.0%
5556401	1,500	1,500	394.53	73.09	.00	1,105.47	26.3%
5556401	1,000	1,000	228.06	.00	.00	1,500.00	0%
5556401	500	500	.00	.00	.00	771.94	22.8%
5556401	8,000	8,000	1,670.40	839.10	.00	500.00	0%
5556401	4,000	4,000	845.34	277.19	246.48	6,329.60	20.9%
5556401	200	200	.00	.00	.00	2,908.18	27.3%
5556401	12,000	12,000	4,230.20	1,464.40	.00	200.00	0%
5556401	1,000	1,000	117.65	30.18	.00	7,769.80	35.3%
5556401	2,000	2,000	.00	.00	.00	882.35	11.8%
5556401	1,000	1,000	.00	.00	.00	2,000.00	0%
5556401	13,000	13,000	.00	.00	.00	1,000.00	0%
5556401	7,000	7,000	2,790.00	1,680.00	.00	13,000.00	0%
5556401	216	216	.00	.00	.00	4,210.00	39.9%
5556401	22,819	22,819	.00	.00	.00	22,216.00	0%
5556401	7,919	7,919	2,504.40	1,290.32	.00	22,819.00	0%
TOTAL BIG HART EXPENSES	110,000	110,000	20,200.08	7,914.38	246.48	89,553.44	18.6%
TOTAL CAMPGROUNDS	0	0	-50,069.00	-17,604.69	246.48	49,822.52	100.0%
TOTAL REVENUES	-270,000	-270,000	-91,010.00	-33,510.00	.00	-178,990.00	
TOTAL EXPENSES	270,000	270,000	40,941.00	15,905.31	246.48	228,812.52	

FOR 2022 03

ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
0	0	-50,069.00	-17,604.69	246.48	49,822.52	100.0%

GRAND TOTAL

** END OF REPORT - Generated by Shirley **

FOR 2022 03

ACCOUNTS FOR:
215 E911

2153800 E911

	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
2153800 511100	429,229	429,229	68,018.84	23,530.42	.00	361,210.16	15.8%
2153800 511200	15,600	15,600	1,189.61	84.48	.00	14,410.39	7.6%
2153800 511225	16,305	16,305	990.08	.00	.00	15,314.92	6.1%
2153800 511300	40,000	40,000	14,944.42	5,852.07	.00	25,055.58	37.4%
2153800 512100	75,751	75,751	22,753.64	5,688.41	.00	52,997.36	30.0%
2153800 512105	6,000	6,000	1,384.56	461.52	.00	4,615.44	23.1%
2153800 512110	1,947	1,947	550.00	137.50	.00	1,397.00	28.2%
2153800 512200	31,442	31,442	5,093.89	1,762.16	.00	26,348.11	16.2%
2153800 512300	7,353	7,353	1,191.31	412.10	.00	6,161.69	16.2%
2153800 512400	21,159	21,159	21,159.00	.00	.00	100.0%	100.0%
2153800 512700	700	700	725.14	.00	.00	-25.14	103.6%*
2153800 512700	35,000	35,000	6,015.00	5,375.00	.00	28,985.00	17.2%
2153800 522200	25,000	25,000	7,968.02	.00	.00	17,031.98	31.9%
2153800 522230	87,000	87,000	20,809.18	6,968.63	.00	66,190.82	23.9%
2153800 523210	2,500	2,500	.00	.00	.00	2,500.00	.0%
2153800 523240	300	300	.00	.00	.00	300.00	.0%
2153800 523270	50	50	.00	.00	.00	50.00	.0%
2153800 523300	1,000	1,000	.00	.00	.00	1,000.00	.0%
2153800 523500	1,000	1,000	.00	.00	.00	1,000.00	.0%
2153800 523600	8,000	8,000	.00	.00	.00	8,000.00	.0%
2153800 523700	2,800	2,800	.00	.00	.00	2,800.00	.0%
2153800 523900	30,000	30,000	.00	.00	.00	30,000.00	.0%
2153800 523902	2,000	2,000	.00	.00	.00	2,000.00	.0%
2153800 531110	1,227	1,227	.00	.00	.00	1,227.00	.0%
2153800 531120	5,000	5,000	.00	.00	.00	5,000.00	.0%
2153800 531160	7,500	7,500	.00	.00	.00	7,500.00	.0%
2153800 531210	8,000	8,000	1,466.78	423.85	.00	6,033.22	19.6%
2153800 531230	14,000	14,000	2,220.12	1,108.46	.00	5,779.88	27.8%
2153800 531230	8,000	8,000	306.00	.00	.00	13,694.00	2.2%
2153800 531600	5,000	5,000	.00	.00	.00	5,000.00	.0%
2153800 531700	3,000	3,000	.00	.00	.00	3,000.00	.0%
2153800 531701	28,500	28,500	.00	.00	.00	28,500.00	.0%
2153800 542500	912,363	912,363	176,785.59	51,804.60	.00	735,577.41	19.4%
TOTAL E911							

FOR 2022 03

ACCOUNTS FOR: E911	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
38100000 E911							
38100000 E911	-300,000	-300,000	-78,417.54	-26,015.05	.00	-221,582.46	26.1%*
38100000 E911-GLASC	-50,000	-50,000	.00	.00	.00	-50,000.00	.0%*
38100000 E911 PREPA	-110,000	-110,000	-25,695.52	-8,363.48	.00	-84,304.48	23.4%*
38100000 E911 FIREWORKS	-1,250	-1,250	.00	.00	.00	-1,250.00	.0%*
38100000 E911 CONTRIB CA	-451,113	-451,113	-46,364.84	-7,886.91	.00	-404,748.16	10.3%*
TOTAL E911	-912,363	-912,363	-150,477.90	-42,265.44	.00	-761,885.10	16.5%
TOTAL E911	0	0	26,307.69	9,539.16	.00	-26,307.69	100.0%
TOTAL REVENUES	-912,363	-912,363	-150,477.90	-42,265.44	.00	-761,885.10	
TOTAL EXPENSES	912,363	912,363	176,785.59	51,804.60	.00	735,577.41	

FOR 2022 03

ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
0	0	26,307.69	9,539.16	.00	-26,307.69	100.0%

GRAND TOTAL

** END OF REPORT - Generated by Shirley **

FOR 2022 03

ACCOUNTS FOR: 256	TRANSPORTATION	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
2565540	TRANSPORTATION EXPENSES							
2565540	511106 DIR SALARY	38,958	38,958	8,990.40	2,996.80	.00	29,967.60	23.1%
2565540	511107 DISPAT SAL	31,200	31,200	6,956.25	2,400.00	.00	24,243.75	22.3%
2565540	511108 DRIVER SAL	124,800	124,800	28,931.56	9,600.31	.00	95,868.44	23.2%
2565540	511200 TEMP/PT SA	24,680	24,680	.00	.00	.00	24,680.00	.0%
2565540	511300 OVERTIME	800	800	618.80	247.52	.00	181.20	77.4%
2565540	512100 GP INS HEA	29,962	29,962	11,859.80	4,369.40	.00	18,102.20	39.6%
2565540	512105 INS. INCEN	6,000	6,000	692.28	230.76	.00	5,307.72	11.5%
2565540	512110 GP INS LIF	899	899	263.52	66.63	.00	635.48	29.3%
2565540	512200 FICA	14,039	14,039	2,824.41	946.37	.00	11,214.59	20.1%
2565540	512300 MICA	3,283	3,283	660.53	221.32	.00	2,622.47	20.1%
2565540	512400 PENSION	11,008	11,008	4,025.75	.00	.00	.00	100.0%*
2565540	512700 WORKERS CO	3,500	3,500	286.95	286.95	.00	-525.75	115.0%*
2565540	522200 CONTR R&M	8,000	8,000	286.95	735.00	.00	6,978.05	12.8%
2565540	522206 TIRES	2,000	2,000	.00	.00	.00	2,000.00	.0%
2565540	522250 INT SHOP	2,000	2,000	555.72	.00	.00	1,444.28	27.8%
2565540	522325 EQUIP LEAS	2,324	2,324	.00	.00	.00	2,324.00	.0%
2565540	522500 DRUG/ALCOH	500	500	.00	.00	.00	500.00	.0%
2565540	523110 PROP INS	7,776	7,776	.00	20.48	.00	7,776.00	.0%
2565540	523210 TELEPHONE	600	600	61.44	.00	.00	538.56	10.2%
2565540	523215 INTERNET	600	600	.00	.00	.00	600.00	.0%
2565540	523240 WIRELESS	9,000	9,000	691.26	.00	.00	8,308.74	7.7%
2565540	523300 ADS	400	400	.00	.00	.00	400.00	.0%
2565540	523500 TRAVEL	500	500	.00	.00	.00	500.00	.0%
2565540	523700 SCHOOL	1,000	1,000	.00	.00	.00	1,000.00	.0%
2565540	523850 CONTR LABO	6,000	6,000	1,500.00	500.00	.00	4,500.00	25.0%
2565540	531110 OFF SUPP	1,500	1,500	113.39	25.68	.00	1,386.61	7.6%
2565540	531131 FIRE EXT	0	0	75.00	75.00	.00	-75.00	100.0%*
2565540	531270 GAS/DIESEL	30,000	30,000	9,093.60	2,423.34	.00	20,906.40	30.3%
2565540	531701 UNIFORMS	1,000	1,000	498.60	352.39	.00	501.40	49.9%
2565540	611006 53111 TRANS-SHOP	7,751	7,751	2,076.40	721.90	.00	5,674.60	26.8%
	TOTAL TRANSPORTATION EXPENSES	370,080	370,080	91,783.66	25,484.85	735.00	277,561.34	25.0%

FOR 2022 03

ACCOUNTS FOR:	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
256 TRANSPORTATION							
2565541 TRANSPORTATION REVENUE							
2565541 341151 53121 53111 REIM	-139,840	-139,840	-61,577.00	-31,469.00	.00	-78,263.00	44.0%*
2565541 341157 53121 P.O.S. REI	-40,614	-40,614	-6,850.95	-2,702.67	.00	-33,763.05	16.9%*
2565541 342130 53121 TRANS-THOM	-65,761	-65,761	-21,827.97	-43.85	.00	-43,933.03	33.2%*
2565541 345500 53121 FARE BOX	-21,007	-21,007	-2,798.00	-1,074.00	.00	-18,209.00	13.3%*
2565541 391000 53121 TRANS-IN	-102,858	-102,858	-18,425.71	.00	.00	-84,432.29	17.9%*
TOTAL TRANSPORTATION REVENUE	-370,080	-370,080	-111,479.63	-35,289.52	.00	-258,600.37	30.1%
TOTAL TRANSPORTATION	0	0	-19,695.97	-9,804.67	735.00	18,960.97	100.0%
TOTAL REVENUES	-370,080	-370,080	-111,479.63	-35,289.52	.00	-258,600.37	
TOTAL EXPENSES	370,080	370,080	91,783.66	25,484.85	735.00	277,561.34	

FOR 2022 03

ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
0	0	-19,695.97	-9,804.67	735.00	18,960.97	100.0%

GRAND TOTAL

** END OF REPORT - Generated by Shirley **

FOR 2022 03

ACCOUNTS FOR:	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
270 FIRE/EMS PROTECTION SERVICES							
2701510 BILLING DEPARTMENT							
2701510 511100 REG SAL	82,555	82,555	19,585.66	6,371.62	.00	62,969.34	23.7%
2701510 511300 OVERTIME	2,000	2,000	901.87	293.79	.00	1,098.13	45.1%
2701510 512100 GP INS HEA	7,490	7,490	4,496.80	624.20	.00	4,993.20	33.3%
2701510 512105 INS. INCEN	3,000	3,000	692.28	230.76	.00	2,307.72	23.1%
2701510 512110 GP INS LIF	300	300	100.00	25.00	.00	200.00	33.3%
2701510 512200 FICA	5,428	5,428	1,255.57	408.37	.00	4,172.43	23.1%
2701510 512300 MICA	1,270	1,270	293.63	95.51	.00	976.37	23.1%
2701510 512400 PENSION	4,773	4,773	4,773.00	.00	.00	0.00	100.0%
2701510 523270 POSTAGE	200	200	.00	.00	.00	200.00	.0%
2701510 523601 MERCHANT	300	300	338.92	203.39	.00	-38.92	113.0%*
2701510 531110 OFF SUPP	1,000	1,000	63.00	63.00	.00	937.00	6.3%
TOTAL BILLING DEPARTMENT	108,316	108,316	30,500.73	8,315.64	.00	77,815.27	28.2%

FOR 2022 03

ACCOUNTS FOR:	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
270	FIRE/EMS PROTECTION SERVICES						
2703500	FIRE/EMS PROTECTION SERVICES						
2703500	REG SAL	2,090,792	473,237.15	160,150.20	.00	1,617,554.85	22.6%
2703500	SAL-NON SC	40,000	.00	.00	.00	40,000.00	.0%
2703500	TEMP/PT SA	475,000	66,194.15	23,839.53	.00	408,805.85	13.9%
2703500	VOLUNTEER	20,000	.00	.00	.00	20,000.00	.0%
2703500	PS HOLIDAY	64,734	15,489.28	.00	.00	49,244.72	23.9%
2703500	OVERTIME	250,000	74,411.90	25,146.55	.00	175,588.10	29.8%
2703500	GP INS HEA	345,341	135,149.51	33,543.44	.00	210,191.49	39.1%
2703500	A & S INS.	20,000	9,271.80	.00	.00	10,728.20	46.4%
2703500	INS. INCEN	6,000	1,326.87	461.52	.00	4,673.13	22.1%
2703500	GP INS LIF	6,066	2,050.00	512.50	.00	4,016.00	33.8%
2703500	FICA	182,685	37,971.54	12,588.82	.00	144,713.46	20.8%
2703500	MICA	42,725	8,880.54	2,944.16	.00	33,844.46	20.8%
2703500	PENSION	91,290	91,290.00	.00	.00	100.00	100.0%
2703500	WORKERS CO	55,000	48,692.24	.00	.00	6,307.76	88.5%
2703500	BILLING/CO	218,500	79,755.39	43,855.55	.00	138,744.61	36.5%
2703500	GLAS. BILL	143,500	19,193.18	8,317.92	.00	124,306.82	13.4%
2703500	CONTR R&M	143,700	39,578.43	8,387.58	4,302.40	99,819.17	30.5%
2703500	R&M EQUIP	6,000	2,132.86	288.78	.00	3,867.14	35.5%
2703500	R&M GROUND	2,000	365.00	105.00	.00	1,635.00	18.3%
2703500	INT SHOP	28,000	22,519.55	4,373.28	4,220.73	1,259.72	95.5%
2703500	EQUIP LEAS	2,000	681.00	227.00	.00	1,319.00	34.1%
2703500	PROP INS	191,906	.00	.00	.00	191,906.00	.0%
2703500	TELEPHONE	3,000	1,322.02	296.60	.00	1,677.98	44.1%
2703500	INTERNET	12,000	2,522.34	420.46	234.28	9,243.38	23.0%
2703500	WIRELESS	6,000	2,521.70	.00	.00	3,478.30	42.0%
2703500	POSTAGE	1,000	526.27	227.23	.00	473.73	52.6%
2703500	ADS	400	.00	.00	.00	400.00	.0%
2703500	PRINT&BIND	1,000	.00	.00	759.80	240.20	76.0%
2703500	TRAVEL	1,500	.00	.00	.00	1,500.00	.0%
2703500	DUES	1,500	681.24	.00	.00	818.76	45.4%
2703500	SCHOOL	30,000	7,800.00	.00	9,017.55	13,182.45	56.1%
2703500	LICENSES	12,300	.00	.00	.00	12,300.00	.0%
2703500	PURC SERV	48,400	17,420.80	2,932.69	1,757.98	29,221.22	39.6%
2703500	GEN SUPPL	121,500	43,965.74	12,270.39	6,757.90	70,776.36	41.7%
2703500	OFF SUPPL	4,000	583.26	.00	.00	3,416.74	14.6%
2703500	CLEAN SUPP	4,000	695.58	320.00	735.94	2,568.48	35.8%
2703500	CPR EXP.	2,500	1,100.00	.00	820.00	580.00	76.8%
2703500	BANQUET EX	1,500	78.70	.00	.00	1,421.30	5.2%
2703500	COMPUTERS-	5,000	.00	.00	.00	5,000.00	.0%
2703500	TOOL EX	8,000	900.19	.00	.00	7,099.81	11.3%

FOR 2022 03

ACCOUNTS FOR: 270	FIRE/EMS PROTECTION SERVICES	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
2703500	531210 WA, SE, GAS	20,000	20,000	7,464.18	3,144.71	.00	12,535.82	37.3%
2703500	531220 PROPANE	1,200	1,200	836.96	540.69	297.78	65.26	94.6%
2703500	531230 ELECT	29,000	29,000	7,737.64	2,026.15	.00	21,262.36	26.7%
2703500	531270 GAS/DIESEL	125,000	125,000	39,097.80	12,028.66	.00	85,902.20	31.3%
2703500	531400 BOOKS	4,000	4,000	1,137.50	828.00	465.20	2,397.30	40.1%
2703500	531600 SM EQUIP	60,000	60,000	6,076.00	4,948.00	.00	53,924.00	10.1%
2703500	531701 UNIFORMS	0	28,000	5,825.78	625.98	709.99	21,464.23	23.3%
2703500	542500 EQUIPMENT	0	19,800	4,270.75	-1,012.43	.00	15,529.25	21.6%
2703500	552201 REF/OVERPA	0	1,800	1,288.18	1,288.18	.00	-1,288.18	100.0%*
2703500	552500 DRUG/ALCOH	1,800	1,800	.00	.00	.00	1,800.00	.0%
2703500	574000 BAD DEBT	3,000	0	.00	.00	.00	44,699.36	35.0%
2703500	581200 CAP LEASE	68,768	68,768	24,068.64	6,017.16	.00	29,509.23	26.8%
2703500	611006 TRANS-SHOP	40,307	40,307	10,797.77	3,754.03	.00		
TOTAL FIRE/EMS PROTECTION SERVICE		5,041,914	5,086,714	1,316,909.43	375,398.33	30,079.55	3,739,725.02	26.5%

FOR 2022 03

ACCOUNTS FOR:	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
2703920 FIRE/EMS PROTECTION SERVICES							
2703920 EMERGENCY MANAGEMENT							
2703920 511100 REG SAL	37,669	37,669	-00	-00	-00	37,669.00	.0%
2703920 512100 GP INS HEA	3,745	3,745	-00	-00	-00	3,745.00	.0%
2703920 512110 GP INS LIF	75	75	-00	-00	-00	75.00	.0%
2703920 512200 FICA	2,335	2,335	-00	-00	-00	2,335.00	.0%
2703920 512300 MICA	546	546	-00	-00	-00	546.00	.0%
2703920 512400 PENSION	3,727	3,727	3,727.00	-00	-00	6,710.40	100.0%
2703920 522230 R&M EQUIP	8,000	8,000	1,289.60	86.38	-00	800.00	16.1%
2703920 523210 TELEPHONE	800	800	-00	-00	-00	649.00	.0%
2703920 523400 PRINT&BIND	1,000	1,000	351.00	-00	-00	780.13	35.1%
2703920 523500 TRAVEL	1,000	1,000	219.87	-00	-00	1,500.00	22.0%
2703920 523700 SCHOOL	1,500	1,500	-00	-00	-00	1,500.00	.0%
2703920 531100 GEN SUPPL	3,000	3,000	159.04	-00	-00	2,840.96	5.3%
2703920 531110 OFF SUPP	1,800	1,800	542.18	-00	-00	1,257.82	30.1%
2703920 531120 CLEAN SUPP	2,200	2,200	708.34	-00	-00	1,491.66	32.2%
2703920 531150 COMPUTERS-	2,400	2,400	-00	-00	-00	2,400.00	.0%
2703920 531270 GAS/DIESEL	11,000	11,000	-00	-00	-00	11,000.00	.0%
2703920 531600 SM EQUIP	8,000	8,000	164.15	164.15	-00	7,835.85	2.1%
TOTAL EMERGENCY MANAGEMENT	88,797	88,797	7,161.18	250.53	-00	81,635.82	8.1%

FOR 2022 03

ACCOUNTS FOR: 270	FIRE/EMS PROTECTION SERVICES	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
34350001 FIRE/EMS PROTECTION REVENUES								
34350001	316200	INS PREM	-1,125,000	.00	.00	.00	-1,125,000.00	.0%*
34350001	334301	TRAUMA	-5,700	.00	.00	.00	-5,700.00	.0%*
34350001	342111	CPR FEES	-2,500	-2,520.00	-2,520.00	.00	20.00	100.8%
34350001	342200	FIRE FEE	-1,197,275	-48,338.05	-19,579.91	.00	-1,193,736.95	3.5%*
34350001	342600	EMS	-3,000	.00	.00	.00	-3,000.00	.0%*
34350001	342601	GLASCOCK	-110,000	-18,333.34	-9,166.67	.00	-91,666.66	16.7%*
34350001	342602	GLAS. 25%	-6,000	.00	.00	.00	-6,000.00	.0%*
34350001	342603	EMS COLLEC	-1,775,000	-449,110.87	-152,289.32	.00	-1,325,889.13	25.3%*
34350001	342605	EMS-GLASCO	-145,000	-26,347.26	-7,154.08	.00	-118,652.74	18.2%*
34350001	342606	EMS-WARREN	-230,000	-72,439.07	-18,168.64	.00	-157,560.93	31.5%*
34350001	342607	BILL FEES	-19,050	-5,199.24	-1,332.77	.00	-13,850.76	27.3%*
34350001	342608	MCDUFF-UPP	0	-32,808.69	.00	.00	32,808.69	100.0%
34350001	342609	WARREN-UPP	0	-14,104.55	.00	.00	14,104.55	100.0%
34350001	342900	LICENSE FE	-2,000	.00	.00	.00	-2,000.00	.0%*
34350001	342911	AMB REIM	-7,000	.00	.00	.00	-7,000.00	.0%*
34350001	344130	INS REIM	0	-66,250.72	.00	.00	66,250.72	100.0%
34350001	346201	CITY INS P	-600,000	.00	.00	.00	-600,000.00	.0%*
34350001	348900	EMA	-8,502	-8,502.00	.00	.00	.00	100.0%
34350001	371000	CONTRIBUT	-3,000	-5,850.00	.00	.00	2,850.00	195.0%
34350001	389001	MISC REV	0	-8,302.56	-2,000.00	.00	8,302.56	100.0%
TOTAL FIRE/EMS PROTECTION REVENUE			-5,239,027	-758,106.35	-217,561.39	.00	-4,525,720.65	14.3%
TOTAL FIRE/EMS PROTECTION SERVICE			0	596,464.99	166,403.11	30,079.55	-626,544.54	100.0%
TOTAL REVENUES			-5,239,027	-758,106.35	-217,561.39	.00	-4,525,720.65	
TOTAL EXPENSES			5,239,027	1,354,571.34	383,964.50	30,079.55	3,899,176.11	

FOR 2022 03

ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
0	0	596,464.99	166,403.11	30,079.55	-626,544.54	100.0%

GRAND TOTAL

** END OF REPORT - Generated by Shirley **

MCDUFFIE COUNTY BOARD OF COMMISSIONERS
 Bank Balances
 March 31, 2022

ACCOUNT NAME	BANK/ INSTITUTION	BEGINNING BALANCE	DEPOSITS	INTEREST	WITHDRAWALS	ENDING BALANCE
GENERAL FUND						
GENERAL FUND	CADENCE BANK	\$3,026,361	\$1,052,652	\$47	\$1,555,033	\$2,524,027
RESERVE ACCOUNT	LGP	\$3,592,705		\$526		\$3,593,232
PAYROLL	CADENCE BANK	\$33,815	\$621,628		\$657,691	\$97,753
PLANNING & ZONING	CADENCE BANK	\$3,783	\$2,850		\$70	\$6,564
SHERIFF OFFICE	FIRST CITIZENS	\$763,962				\$763,962
EMPLOYEE RELATIONS	CADENCE BANK	\$6,999			\$407	\$6,591
RECREATION SERVICES	CADENCE BANK	\$6,929	\$8,330			\$15,259
TOTALS		\$7,434,555	\$1,685,461	\$573	\$2,113,201	\$7,007,388
ENTERPRISE FUNDS						
SOLID WASTE	CAODENCE BANK	\$304,809	\$257,579		\$149,159	\$413,229
BIG HART CAMPGROUND	CADENCE BANK	\$128,720	\$16,470		\$3,289	\$141,901
RAYSVILLE CAMPGROUND	CADENCE BANK	\$261,708	\$15,240		\$4,138	\$272,810
EMERGENCY SERVICES-OPERATING	CADENCE BANK	\$283,162	\$209,274		\$254	\$492,181
EMERGENCY SERVICES-BILLING	CADENCE BANK	\$183,706	\$202,499		\$223,034	\$163,171
WARREN COUNTY EMS	CADENCE BANK	\$36,518	\$15,733		\$36,432	\$15,819
TOTALS		\$1,198,622	\$716,795		\$416,306	\$1,499,111
GRANTS						
CARES FUNDING	CADENCE BANK	\$79,713				\$79,713
AMERICAN RESCUE	CADENCE BANK	\$2,069,903				\$2,069,903
CDBG-WRIGHTSBORO ROAD	CADENCE BANK	\$100				\$100
CDBG-CHIP	CADENCE BANK	\$100				\$100
GEFA	CADENCE BANK	\$100				\$100
WELLNESS PROGRAM	CADENCE BANK	\$4,253				\$4,253
TOTALS		\$2,154,169				\$2,154,168
SPECIAL REVENUE						
DRUG FUND	CADENCE BANK	\$351,812	\$1,120			\$352,932
DRUG COURT	CADENCE BANK	\$45,141	\$31,633		\$10,660	\$66,114
E911	CADENCE BANK	\$156,112	\$34,379		\$46,522	\$143,968
E911 WIRELESS	CADENCE BANK	\$51,545				\$51,545
JAIL FUND	CADENCE BANK	\$303,049	\$5,332		\$2,970	\$305,411
LANDFILL SURCHARGE	CADENCE BANK	\$97,875			\$1,650	\$96,225
		\$1,005,533	\$72,464		\$61,802	\$1,016,195
SPLIST						
SPLIST IV	CADENCE BANK	\$111,501		\$2		\$111,503
SPLIST V	CADENCE BANK	\$57,292		\$1	\$18,625	\$38,668
SPLIST VI	CADENCE BANK	\$3,564,858		\$61		\$3,564,918
SPLIST VII	CADENCE BANK	\$3,856,707	\$317,425	\$64	\$356,249	\$3,817,947
TRANSPORTATION SPLIST	CADENCE BANK	\$1,253,576	\$462,480	\$22	\$24,186	\$1,691,892
TOTALS		\$8,843,934	\$779,905	\$149	\$399,061	\$9,224,928
OTHER						
LMIG	CADENCE BANK	\$100				\$100
TOTALS		\$100				\$100
GRAND TOTAL		\$20,636,912	\$3,254,626	\$722	\$2,990,370	\$20,901,890

MCDUFFIE COUNTY BOARD OF COMMISSIONERS
HOTELMOTEL TAX COLLECTIONS
2022

MONTH RECEIVED	COLLECTION MONTH	COMFORT INN	ECONO LODGE	HAMPTON INN	EXPRESS INN	KNOX TERRACE	ONLINE SALES	DAYS INN	TRIPLE M	MONTHLY TOTAL	2021 TOTALS	VARIANCE
1/31/2022	DECEMBER	\$3,269	\$1,939	\$7,989	\$398		\$1,280	\$1,297	\$1,397	\$17,568	\$14,132	\$3,436
2/28/2022	JANUARY	\$2,996	\$1,632	\$8,438	\$418	\$231	\$1,344	\$848	\$2,004	\$17,913	\$16,529	\$1,384
3/31/2022	FEBRUARY	\$3,155	\$1,809	\$9,709	\$582	\$115	\$1,207	\$1,079	\$2,344	\$20,001	\$18,788	\$1,213
4/30/2022	MARCH									\$0		\$0
5/31/2022	APRIL									\$0		\$0
6/30/2022	MAY									\$0		\$0
7/31/2022	JUNE									\$0		\$0
8/31/2022	JULY									\$0		\$0
9/30/2022	AUGUST									\$0		\$0
10/31/2022	SEPTEMBER									\$0		\$0
11/30/2022	OCTOBER									\$0		\$0
12/31/2022	NOVEMBER									\$0		\$0
YTD Totals		\$9,421	\$5,379	\$26,136	\$1,397	\$346	\$3,831	\$3,224	\$5,745	\$55,481	\$49,449	\$6,032

% OF CHANGE

12.20%

**MCDUFFIE COUNTY BOARD OF COMMISSIONERS
LOCAL OPTION SALES TAX COLLECTIONS
FOR YEARS ENDED 2020 - 2022**

	<u>2020</u>	<u>DIFFERENCE</u>	<u>% CHANGE</u>	<u>2021</u>	<u>DIFFERENCE</u>	<u>% CHANGE</u>	<u>2022</u>	<u>DIFFERENCE</u>	<u>% CHANGE</u>
		<u>IN 2019/2020</u>			<u>IN 2020/2021</u>			<u>IN 2021/2022</u>	
MONTH									
RECEIVED									
JANUARY	\$211,625	\$15,374	7.83%	\$221,590	\$9,965	4.71%	\$241,876	\$20,286	9.15%
FEBRUARY	\$170,118	-\$9,784	-5.44%	\$195,629	\$25,512	15.00%	\$203,264	\$7,634	3.90%
MARCH	\$166,181	-\$10,414	-5.90%	\$184,470	\$18,289	11.01%	\$212,258	\$27,788	15.06%
APRIL	\$191,022	-\$20,377	-9.64%	\$236,052	\$45,030	23.57%			
MAY	\$183,121	-\$20,303	-9.98%	\$223,157	\$40,037	21.86%			
JUNE	\$205,210	\$2,286	1.13%	\$229,164	\$23,954	11.67%			
JULY	\$198,409	\$6,698	3.49%	\$229,634	\$31,225	15.74%			
AUGUST	\$197,328	-\$21,056	-9.64%	\$226,465	\$29,137	14.77%			
SEPTEMBER	\$459,759	\$263,078	133.76%	\$216,165	-\$243,593	-52.98%			
OCTOBER	\$189,658	\$2,536	1.36%	\$214,584	\$24,926	13.14%			
NOVEMBER	\$190,270	-\$19,834	-9.44%	\$216,299	\$26,029	13.68%			
DECEMBER	\$196,375	\$7,468	3.95%	\$223,333	\$26,958	13.73%			
YTD Totals	\$2,559,074	\$195,671	8.28%	\$2,616,543	\$57,469	2.25%	\$657,398	\$55,708	9.26%
Total	\$2,559,074	\$195,671	8.28%	\$2,616,543	\$57,469	2.25%	\$657,398	\$55,708	9.26%

MCDUFFIE COUNTY BOARD OF COMMISSIONERS
Title Ad Valorem Tax

Month Received	Ad Valorem	TAVT
1/1/2022	\$85,590	
2/28/2022	\$81,156	
3/31/2022	\$7,964	\$86,024
4/30/2022		
5/31/2022		
6/30/2022		
7/31/2022		
8/31/2022		
9/30/2022		
10/31/2022		
11/30/2022		
12/31/2022		
YTD Totals	\$14,239	\$252,770

Month Received	Ad Valorem	TAVT
1/1/2021	\$76,382	
2/28/2021	\$13,728	\$94,872
3/31/2021	\$5,153	\$71,690
4/30/2021	\$2,958	\$102,889
5/31/2021	\$5,580	\$132,845
6/30/2021	\$7,602	\$85,796
7/31/2021	\$2,519	\$95,001
8/31/2021	\$5,485	\$87,112
9/30/2021	\$6,159	\$95,151
10/31/2021	\$9,392	\$72,201
11/30/2021	\$8,138	\$81,877
12/31/2021	\$6,207	\$69,212
YTD Totals	\$72,921	\$1,065,028

Month Received	Ad Valorem	TAVT
1/1/2020	\$4,679	\$88,462
2/28/2020	\$14,114	\$89,326
3/31/2020	\$6,699	\$81,348
4/30/2020	\$3,071	\$82,189
5/31/2020	\$9,813	\$53,899
6/30/2020	\$5,790	\$79,451
7/31/2020	\$6,208	\$102,965
8/31/2020	\$1,199	\$73,066
9/30/2020	\$7,359	\$96,048
10/31/2020	\$7,398	\$85,049
11/30/2020	\$7,329	\$93,424
12/31/2020	\$3,376	\$66,724
YTD Totals	\$77,035	\$991,951

**MCDUFFIE COUNTY BOARD OF COMMISSIONERS
ENERGY EXCISE TAX
2022**

MONTH RECEIVED	COLLECTION MONTH	CITY OF THOMSON	GEORGIA POWER	FERRELL GAS	JEFFERSON ENERGY	GAS SOUTH	MONTHLY TOTAL	2021 TOTALS	VARIANCE
1/31/2022	DECEMBER	\$2,052	\$13,629	\$115	\$3,311	\$133	\$19,240	\$15,360	\$3,880
2/28/2022	JANUARY	\$1,934	\$10,145	\$130	\$3,201	\$106	\$15,515	\$16,625	-\$1,110
3/31/2022	FEBRUARY	\$2,348	\$17,612		\$3,305	\$85	\$23,350	\$17,575	\$5,775
4/30/2022	MARCH						\$0		
5/31/2022	APRIL						\$0		
6/30/2022	MAY						\$0		
7/31/2022	JUNE						\$0		
8/31/2022	JULY						\$0		
9/30/2022	AUGUST						\$0		
10/31/2022	SEPTEMBER						\$0		
11/30/2022	OCTOBER						\$0		
12/31/2022	NOVEMBER						\$0		
YTD Totals		\$6,334	\$41,385	\$244	\$9,817	\$323	\$58,104	\$49,560	\$8,544

% OF CHANGE

17.24%

MCDUFFIE COUNTY BOARD OF COMMISSIONERS
TRANSPORTATION SPLOST

REVENUES

ACTUAL EXPENDITURES

AVAILABLE INTEREST
BALANCE

Allocations	TSPLOST	West Bypass	Other	Cumulative	Monthly	Cumulative	Resurfacing (70%)	Paving (30%)	West Bypass	excluding interest	INTEREST
Jan-20	\$ 80,168			\$ 6,746,936	(37,370)	\$ 5,989,817	\$ 5,549,999	\$ 2,378,571	\$ 5,996	\$ 757,119	\$ 571
Feb-20	\$ 76,466			\$ 6,823,402	4,655	\$ 5,994,472	\$ (44,585)	1,229	\$ 3,600	\$ 828,930	\$ 623
Mar-20	\$ 65,724	\$ 368,544		\$ 7,257,671	95,471	\$ 6,089,943	1,055		\$ 95,471	\$ 1,167,728	\$ 648
Apr-20	\$ 70,391			\$ 7,328,062	1,059	\$ 6,091,003	491		\$ 77	\$ 1,237,059	\$ 294
May-20	\$ 67,995			\$ 7,396,057	19,397	\$ 6,110,399	6,669	798	\$ 11,930	\$ 1,285,658	\$ 281
Jun-20	\$ 76,160	\$ 192,110		\$ 7,664,326	-	\$ 6,110,399			\$ 11,930	\$ 1,553,927	\$ 184
Jul-20	\$ 79,917			\$ 7,744,243	21,484	\$ 6,131,883	2,242	2,242	\$ 17,000	\$ 1,612,360	\$ 133
Aug-20	\$ 79,938	\$ 60,103		\$ 7,894,284	3,958	\$ 6,135,841	2,520		\$ 1,438	\$ 1,748,443	\$ 142
Sep-20	\$ 122,090			\$ 8,006,373	709,172	\$ 6,845,013	8,139	52	\$ 700,981	\$ 1,161,360	\$ 117
Oct-20	\$ 70,755			\$ 8,077,129	1,930	\$ 6,846,943	1,930		\$ 1,230,185	\$ 1,011	\$ 101
Nov-20	\$ 82,687			\$ 8,159,815	505,937	\$ 7,352,880	467,738	37,603	\$ 596	\$ 806,935	\$ 88
Dec-20	\$ 79,104	\$ 719,419		\$ 8,958,338	137,459	\$ 7,490,339	9,060		\$ 128,399	\$ 1,467,999	\$ 67
TOTAL FOR YEAR	\$ 951,395	\$ 1,340,176		\$ 8,958,338	1,463,152	\$ 7,490,339	4,873,167	159,142	\$ 2,458,030	\$ 1,467,999	\$ 3,249
TOTAL TO DATE	\$ 6,419,741	\$ 2,377,208	\$ 161,389	\$ 13,684,942	5,932,780	\$ 13,423,119	6,065,911	168,832	\$ 7,188,376	\$ 1,663,621	\$ 29,390
Jan-21	\$ 94,307			\$ 9,052,645	108,946	\$ 7,599,285	36,682		\$ 108,946	\$ 1,453,360	\$ 124
Feb-21	\$ 75,266	\$ 80,822		\$ 9,208,734	53,182	\$ 7,652,467	3,845	9,690	\$ 7,818	\$ 1,606,039	\$ 135
Mar-21	\$ 71,126			\$ 9,279,860	21,353	\$ 7,673,820	80,000		\$ 471,888	\$ 1,144,096	\$ 107
Apr-21	\$ 89,944			\$ 9,369,804	551,888	\$ 8,225,708	44,984		\$ 5,750	\$ 1,789,497	\$ 113
May-21	\$ 90,831	\$ 605,304		\$ 10,065,939	50,734	\$ 8,276,442	1,280		\$ 465,283	\$ 1,410,851	\$ 131
Jun-21	\$ 87,917			\$ 10,153,856	466,563	\$ 8,743,005	790,485		\$ 42,708	\$ 845,095	\$ 15
Jul-21	\$ 88,186			\$ 10,242,041	1,384,172	\$ 10,127,177	31,161		\$ 761,806	\$ 487,361	\$ 42
Aug-21	\$ 89,471	\$ 714,628		\$ 11,046,141	73,869	\$ 10,201,046	94,045		\$ 1,112,223	\$ 225,225	\$ 46
Sep-21	\$ 95,670			\$ 11,141,811	1,219,583	\$ 11,420,628	72,374		\$ 18,201	\$ 261,823	\$ 12
Oct-21	\$ 87,822	\$ 1,512,536		\$ 12,742,169	834,180	\$ 12,254,808	37,888		\$ 4,730,346	\$ 261,823	\$ 979
Nov-21	\$ 88,281	\$ 761,806		\$ 13,592,256	1,112,223	\$ 13,367,031			\$ 1,192,744	\$ 9,690	\$ 281,823
Dec-21	\$ 92,686			\$ 13,684,942	56,088	\$ 13,423,119			\$ 9,690	\$ 4,730,346	\$ 261,823
TOTAL FOR YEAR	\$ 1,051,508	\$ 3,675,096		\$ 13,684,942	5,932,780	\$ 13,423,119	6,065,911	168,832	\$ 7,188,376	\$ 1,663,621	\$ 29,390
TOTAL TO DATE	\$ 7,471,249	\$ 6,052,304	\$ 161,389	\$ 14,906,225	798,841	\$ 14,221,960	489		\$ 798,841	\$ 1,225,232	\$ 9
Jan-22	\$ 109,060	\$ 1,112,223		\$ 15,815,475	368,283	\$ 14,590,243	680		\$ 367,794	\$ 1,663,621	\$ 22
Feb-22	\$ 92,208	\$ 817,042		\$ 16,277,933	24,069	\$ 14,614,312			\$ 23,389	\$ 1,663,621	\$ 22
Mar-22	\$ 94,664	\$ 367,794		\$ 16,277,933	-	\$ 14,614,312			\$ 1,663,621	\$ 1,663,621	\$ 22
Apr-22				\$ 16,277,933	-	\$ 14,614,312			\$ 1,663,621	\$ 1,663,621	\$ 22
May-22				\$ 16,277,933	-	\$ 14,614,312			\$ 1,663,621	\$ 1,663,621	\$ 22
Jun-22				\$ 16,277,933	-	\$ 14,614,312			\$ 1,663,621	\$ 1,663,621	\$ 22
Jul-22				\$ 16,277,933	-	\$ 14,614,312			\$ 1,663,621	\$ 1,663,621	\$ 22
Aug-22				\$ 16,277,933	-	\$ 14,614,312			\$ 1,663,621	\$ 1,663,621	\$ 22
Sep-22				\$ 16,277,933	-	\$ 14,614,312			\$ 1,663,621	\$ 1,663,621	\$ 22
Oct-22				\$ 16,277,933	-	\$ 14,614,312			\$ 1,663,621	\$ 1,663,621	\$ 22
Nov-22				\$ 16,277,933	-	\$ 14,614,312			\$ 1,663,621	\$ 1,663,621	\$ 22
Dec-22				\$ 16,277,933	-	\$ 14,614,312			\$ 1,663,621	\$ 1,663,621	\$ 22
TOTAL FOR YEAR	\$ 295,932	\$ 2,297,059		\$ 16,277,933	1,191,193	\$ 14,614,312	1,169		\$ 1,190,024	\$ 1,663,621	\$ 47
TOTAL TO DATE	\$ 7,767,181	\$ 8,349,363	\$ 161,389	\$ 17,123,973	7,123,973	\$ 15,999,243	6,067,079	168,832	\$ 8,378,400	\$ 1,663,621	\$ 29,437
TOTAL AVAILABLE							\$ (515,912)	\$ 2,209,739	\$ 29,037		

SPLOST VII
REVENUE AND EXPENDITURE REPORT

	ACTUAL REVENUE		ACTUAL EXPENDITURES		AIRPORT	BROADBAND	COMMUNITY DEVELOPMENT	ECONOMIC DEVELOPMENT	INFORMATION TECHNOLOGY	PUBLIC SAFETY	RECREATION	PUBLIC WORKS	SOLID WASTE	WATER/SEWER	FEES	AVAIL BALANCE	INTEREST
	Monthly	Cumulative	Monthly	Cumulative													
Allocations					\$ 496,916	\$ 4,700,000	\$ 1,905,000	\$ 2,501,499	\$ 405,000	\$ 4,350,000	\$ 2,725,000	\$ 1,560,000	\$ 1,800,000	\$ 4,000,000		\$ 24,443,415	
Jan-21	\$ 292,851	\$ 292,851	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 127	\$ 292,724	\$ -
Feb-21	\$ 275,049	\$ 568,800	\$ 28,701	\$ 26,828	\$ -	\$ -	\$ 26,749	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ (48)	\$ 541,971	\$ -
Mar-21	\$ 353,313	\$ 922,113	\$ -	\$ 26,828	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 895,294	\$ -
Apr-21	\$ 333,398	\$ 1,255,512	\$ 27,901	\$ 54,729	\$ -	\$ -	\$ 24,887	\$ -	\$ 27,901	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,200,782	\$ -
May-21	\$ 342,009	\$ 1,598,481	\$ 125,314	\$ 180,043	\$ -	\$ -	\$ 27,557	\$ -	\$ 100,427	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,418,437	\$ 345
Jun-21	\$ 343,349	\$ 1,942,030	\$ 47,711	\$ 227,754	\$ -	\$ -	\$ 20,154	\$ -	\$ 20,154	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,714,275	\$ 120
Jul-21	\$ 338,878	\$ 2,280,908	\$ 12,554	\$ 240,309	\$ -	\$ 3,135	\$ -	\$ -	\$ 9,419	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,040,597	\$ 148
Aug-21	\$ 323,349	\$ 2,604,255	\$ 1,815	\$ 242,124	\$ -	\$ 1,815	\$ -	\$ -	\$ 9,419	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,362,131	\$ 169
Sep-21	\$ 320,913	\$ 2,925,188	\$ 99,107	\$ 341,230	\$ -	\$ -	\$ -	\$ -	\$ 99,107	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,583,938	\$ 202
Oct-21	\$ 323,533	\$ 3,248,701	\$ -	\$ 341,230	\$ -	\$ -	\$ -	\$ -	\$ 1,553	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,907,471	\$ 145
Nov-21	\$ 333,850	\$ 3,582,551	\$ 1,553	\$ 342,784	\$ -	\$ -	\$ -	\$ -	\$ 1,553	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,239,267	\$ 50
Dec-21	\$ 381,881	\$ 3,964,412	\$ 273	\$ 343,057	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 273	\$ 3,601,355	\$ 56
Jan-22																	
TOTAL FOR YEAR	\$ 3,944,412	\$ 3,944,412	\$ 343,057	\$ 343,057	\$ -	\$ 32,507	\$ 51,636	\$ -	\$ 258,561	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 352	\$ 3,601,355	\$ 1,233
YEAR TO DATE	\$ 3,944,412	\$ 3,944,412	\$ 343,478	\$ 343,057											\$ 352	\$ 3,601,355	\$ 1,233
Feb-22	\$ 303,884	\$ 4,248,276	\$ 108,659	\$ 449,716			\$ 50,000	\$ -	\$ 56,659	\$ -						\$ 3,798,561	\$ 55
Mar-22	\$ 317,425	\$ 4,565,701	\$ 299,590	\$ 749,306			\$ 50,000	\$ -	\$ 56,659	\$ 233,915						\$ 3,816,906	\$ 64
Apr-22																	
May-22																	
Jun-22																	
Jul-22																	
Aug-22																	
Sep-22																	
Oct-22																	
Nov-22																	
Dec-22																	
Jan-23																	
TOTAL FOR YEAR	\$ 621,290	\$ 4,906,249	\$ 749,306	\$ 749,306			\$ 50,000	\$ -	\$ 56,659	\$ 233,915					\$ 65,675	\$ 3,816,906	\$ 119
YEAR TO DATE	\$ 4,565,701	\$ -	\$ 749,306	\$ -			\$ 50,000	\$ -	\$ 315,220	\$ 233,915					\$ 65,675	\$ 3,816,906	\$ 1,352