



RESIDENTIAL DESIGN
GUIDELINES

Thomson Historic District



PREPARED BY
Ethos Preservation

Statement of Acknowledgement

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The history of Thomson is inextricably linked to the development of the railroad. Thomson was founded in 1837 with the construction of the railroad and associated depot. Early buildings were built close to the railroad and were typically associated with railroad commerce and industry. Residential buildings were located further away from the railroad. As the town grew, more civic buildings were constructed including churches, schools, and municipal buildings. The town was incorporated as a village in 1854 and was designated as the county seat when McDuffie County was established in 1870.

The Thomson Residential Design Guidelines for rehabilitation, new construction, demolition, and relocation ensure the preservation of Thomson's historic residential buildings and its larger historic context while effectively managing growth through compatible alterations. Included here are best practices for rehabilitating historic buildings and ensuring new construction is harmonious with this historic context. The manual provides clarification in simple terms, accompanied by illustrations and examples. Further, charts and diagrams have been added to facilitate greater understanding of the design review process and the role the City, the Historic Preservation Commission, and you – the property owner – play in maintaining, preserving, and enhancing the Thomson Historic District. Thank you for reading and for your continued stewardship of Thomson's historic resources.

Design guidelines are a tool to help preserve the character of an area by guiding the appearance and materials of buildings. They protect the investments of property owners and business establishments through the objective application of uniform standards that maintain continuity in design and promote appropriate rehabilitation and construction activities. By preserving and maintaining the area's visual character, the design review process will ensure that future generations enjoy the benefits of the architectural heritage of Thomson.

These guidelines are for property and business owners, residents, Thomson and McDuffie County staff, and the Thomson Historic Preservation Commission for use in the planning, design, and review of material changes in appearance to residential existing buildings and new construction proposed within the Thomson Historic District.

Thomson Residential Design Guidelines



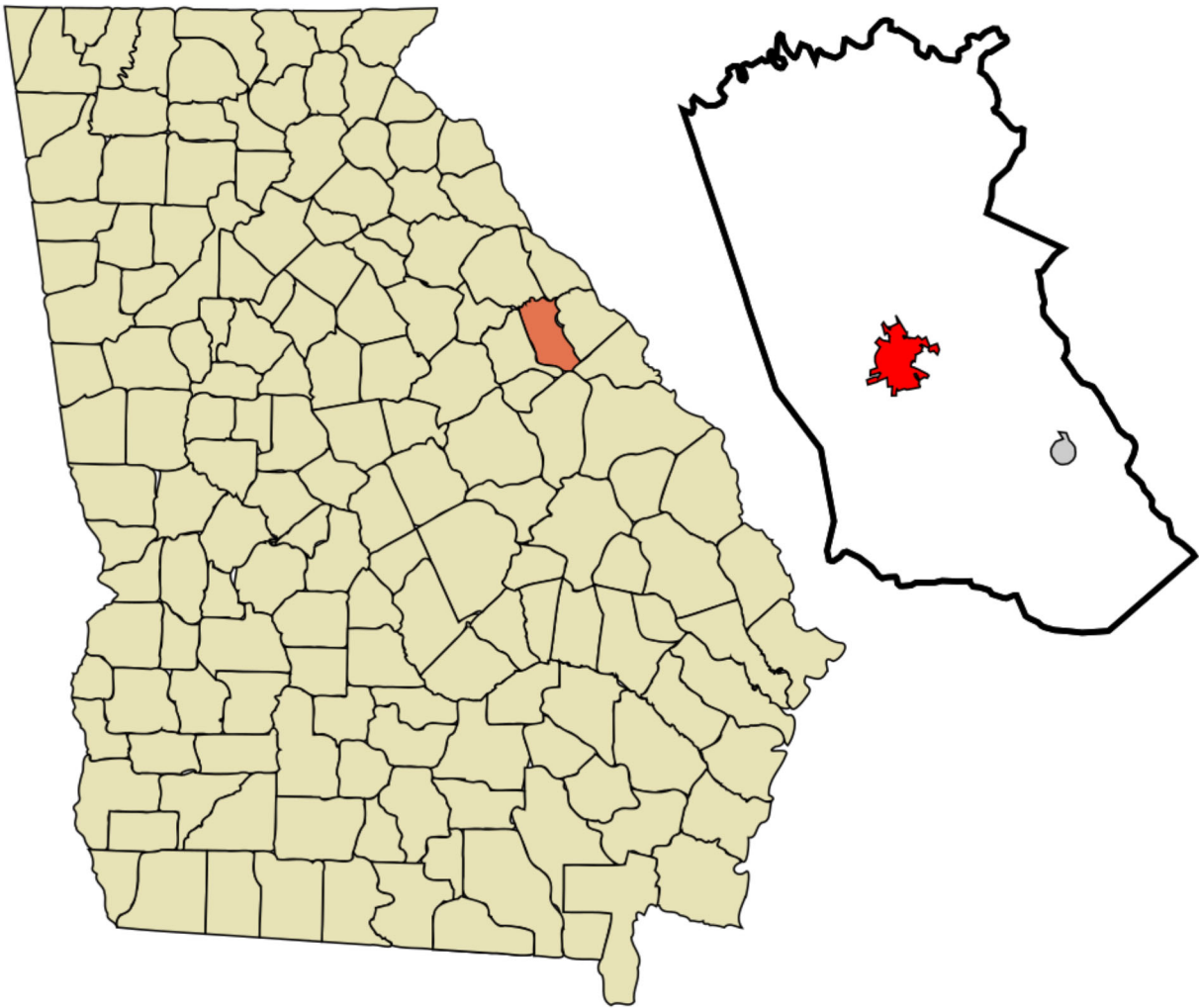
The National Park Service Design Guidelines Overarching Do's & Don'ts:

| Design Guidelines Do | Design Guidelines Don't |
|---|--|
| Explain, expand, and interpret general design criteria in the local preservation ordinance. | Serve the same legal purpose as the design review provisions of the ordinance. An ordinance is a law, but local design guidelines are typically not laws. |
| Help reinforce the character of a historic area and protect its visual aspects. | Limit growth or regulate where growth takes place. Guidelines address only the visual impact of individual work projects on the character of a local historic district. Growth itself is a separate issue that must be separately addressed through zoning ordinances and preservation planning. |
| Protect the value of public and private investment, which might otherwise be threatened by the undesirable consequences of poorly managed growth. | Control how space within a building is used. They usually deal only with the exterior, publicly visible portions of buildings, not with how interior space is laid out or used. |
| Indicate which approaches to design a community encourages, as well as which it discourages. | Guarantee that all new construction will be compatible with a historic area or the guarantee of creativity that is essential to the best kind of sensitive design. |
| Serve as a tool for designers and their clients to use in making preliminary design decisions. | Guarantee "high quality" construction. Since materials are generally not specified in design guidelines, final visual results are not guaranteed. |
| Increase public awareness of design issues and opinions. | -- |





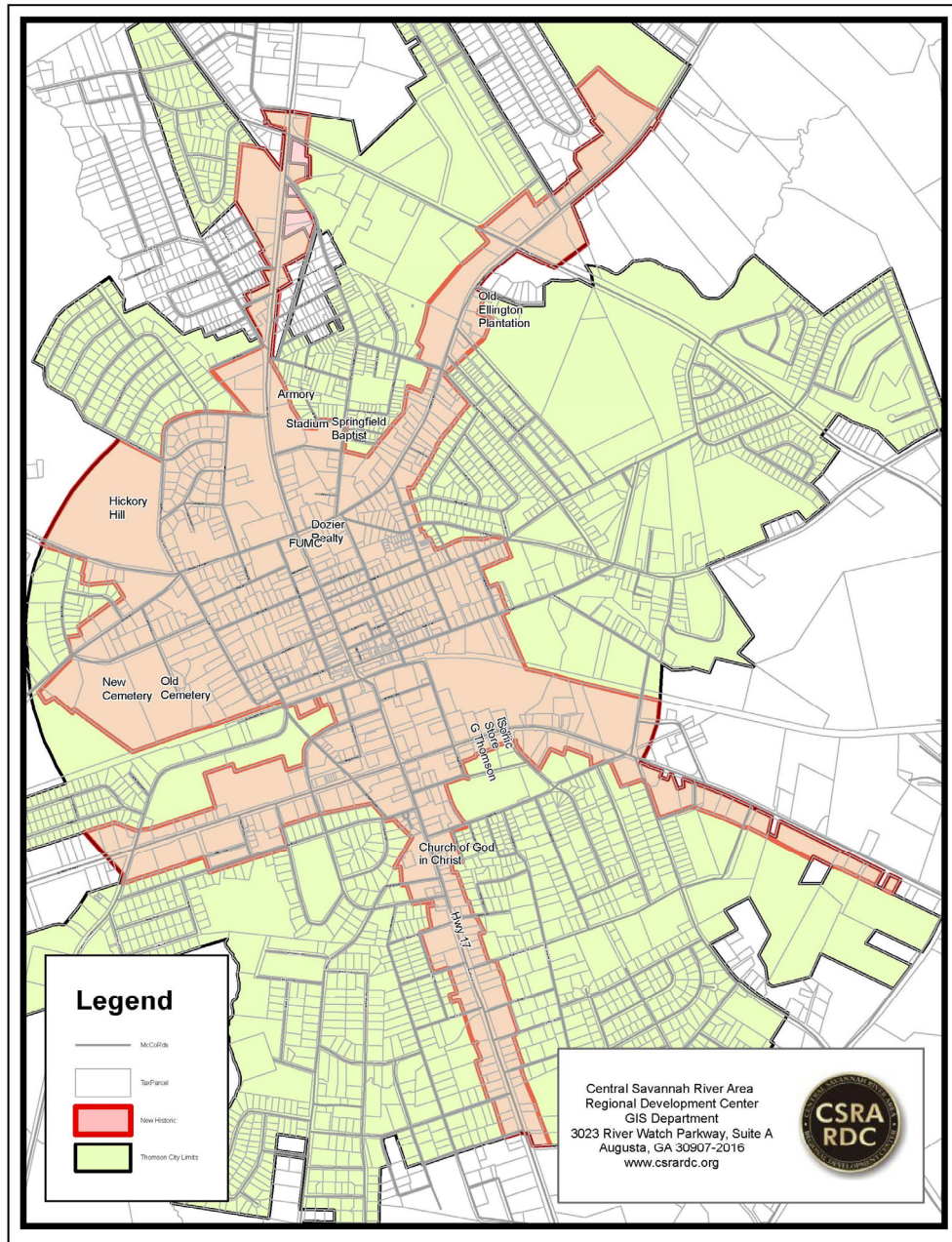
Thomson, Georgia is located in McDuffie County and is the County seat. Located near the border with South Carolina, the city occupies 1.95 square miles.



Thomson Residential Design Guidelines



The local Thomson Historic District was created by City Council in 2007 in order to protect the historic resources of Thomson. It was designated for meeting the historical, cultural, architectural, and aesthetic criteria.

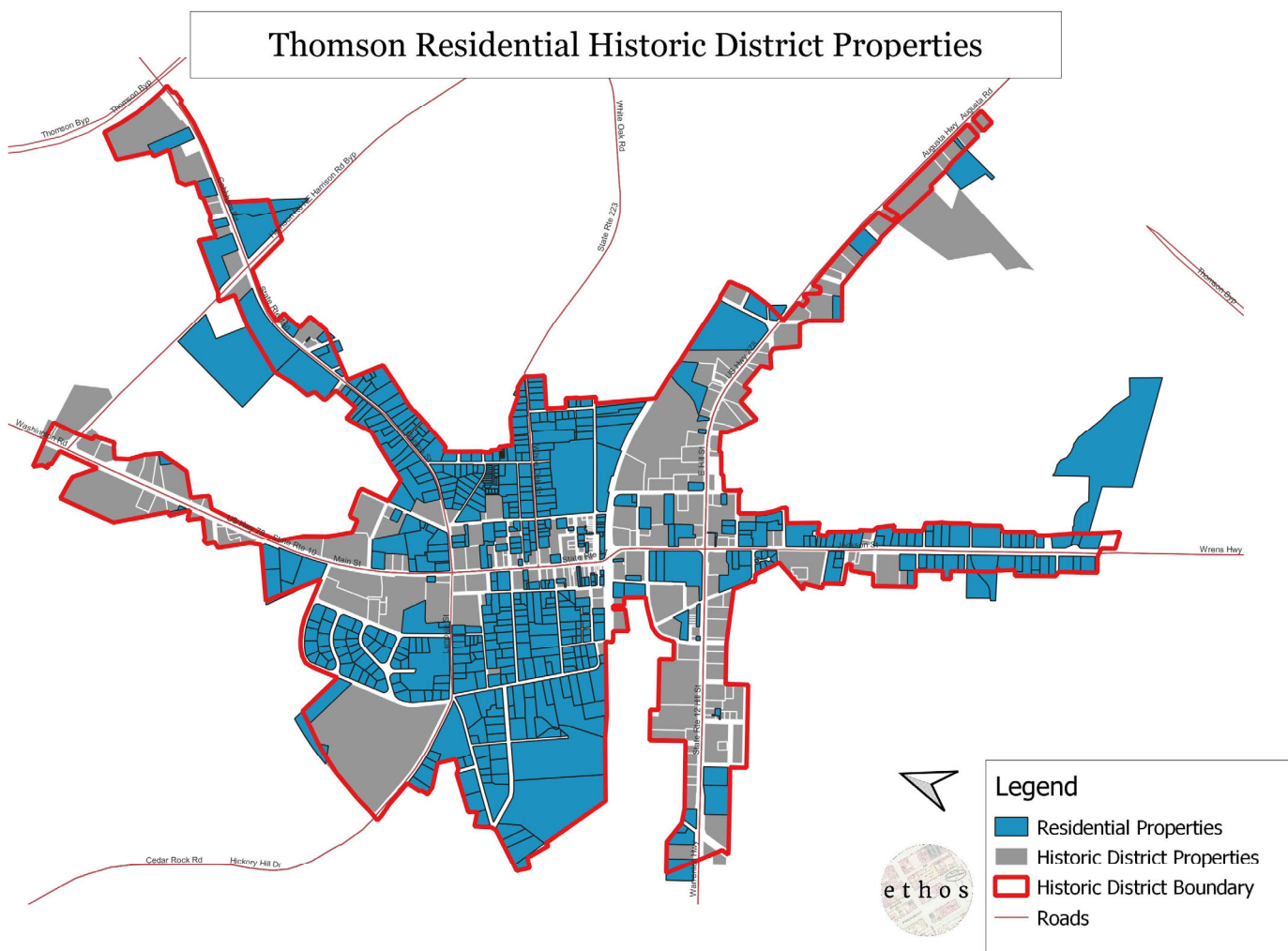


Thomson Residential Design Guidelines



The Thomson Historic District is extensive as almost a third of all properties in the city boundaries lie within the historic district. This is well-above the national average of 5%, and on par with the City of Savannah. Over half of the historic district properties are residential.

| | Number of Parcels | Percentage |
|------------------------------|-------------------|----------------------|
| City of Thomson | 3,008 | |
| Historic District | 817 | 27% (of all parcels) |
| Residential Properties in HD | 575 | 70% (of HD parcels) |





The City of Thomson's Historic Preservation Ordinance was adopted by the Thomson City Council in May 2006. The ordinance recognizes that the historical, cultural and aesthetic heritage of the City of Thomson is among its most valued and important assets and that the preservation of this heritage is essential to the promotion of the health, prosperity and general welfare of the people. The ordinance was adopted in order to stimulate revitalization of the business districts and historic neighborhoods and to protect and enhance local historic and aesthetic attractions to tourists and thereby promote and stimulate business; to enhance the opportunities for federal or state tax benefits under relevant provisions of federal or state law; and to provide for the designation, protection, preservation and rehabilitation of historic properties and historic districts and to participate in federal or state programs to do the same. The ordinance establishes a uniform procedure for the protection, enhancement, perpetuation and use of places, districts, sites, buildings, structures, objects, and landscape features having a special historical, cultural or aesthetic interest or value. At the heart of it all, the ordinance allows for the designation of historic properties and districts and establishes the Thomson Historic Preservation Commission (HPC) to oversee the designation and management of properties and districts.

The HPC and City Council designated the Thomson Historic District as the City's first local historic district in 2007.

Designation as a local historic district requires that all material changes in appearance to existing buildings and new construction visible from the public right-of-way receive a Certificate of Appropriateness (COA) prior to the issuance of a building permit.

COAs can be issued by the Historic Preservation Commission or City Staff, depending on the scope of work.

Major vs Minor Work

Major changes to buildings are required to be reviewed by the Historic Preservation Commission. Minor changes can be reviewed at the staff level.

Minor work includes various activities in which the visual character of the building is not substantially changed. Major work projects involve a change in the appearance of a building that is substantial in nature (see HPC by-laws for complete list).

Minor Work:

- Repointing of brick or block
- Installation of new light fixtures
- Removal and replacement of damaged or unoriginal siding
- Replacement of architectural features and materials in-kind
- Removal of unoriginal accessory buildings
- Signage

Major Work:

- New construction, including accessory buildings
- Additions
- Alterations to original historic materials and features
- Relocating buildings
- Demolition in whole or part of any primary building
- Any item determined by staff to be major work



General building maintenance falls outside of the categories of minor or major work and a Certificate of Appropriateness is not required. Maintenance is defined as the preservation or repair of existing historic materials and building form to include cleaning and painting. Replacement of deteriorated features in-kind (the same material, size, dimensions, and other physical characteristics) may be considered maintenance, depending on the extent of replacement. Consult with Staff to determine if replacement in-kind constitutes general building maintenance or minor work.

Period of Significance

The Thomson Historic District's period of significance is from 1830 to 1947. The period of significance reflects the time period of the construction of the first building (Usry House) to the post WWII housing boom in which the Knox Company was active and the American Small House was the predominant building type.

A second period of significance was established for the Hickory Hills Subdivision Character Area. The period of significance for this area is 1949-1969.

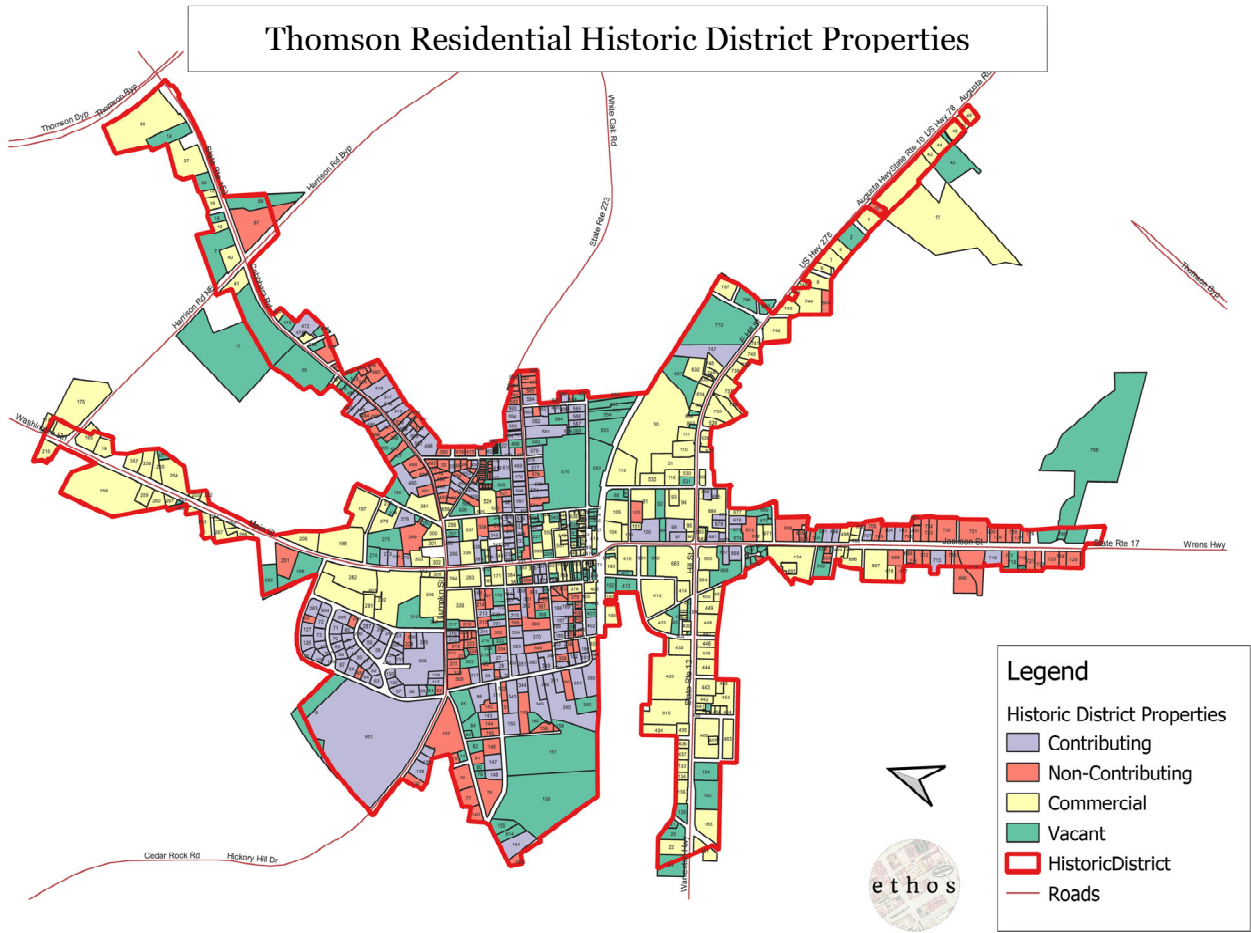
Contributing vs Non-Contributing Structures

Each of the 575 residential buildings within the District has been individually surveyed and evaluated to determine their level of significance. "Contributing" buildings are buildings that were constructed during the period of significance and retain historic integrity. These buildings are considered historic and contribute to the historic significance and character of the district. "Non-contributing" buildings were either constructed outside of the period of significance or have been altered to such a degree as to result in a significant loss of historic integrity. Of the 575 residential buildings within the district, 221 have been determined to be contributing. An inventory of contributing buildings has been included as Section 13E.

Hickory Hills Subdivision Character Area

A unique character area of the Thomson Historic District is the Hickory Hills Subdivision. The Character Area encompasses 49 buildings, 45 of which are considered contributing.





Additional, larger maps and corresponding list can be found in Sections 13E and F.

| Category | Number of Properties | Percentage | Year Built | Contributing | Non-Contributing |
|------------------|----------------------|------------|--------------|--------------|------------------|
| Commercial | 231 | 28% | pre-1900 | 16 | 1 |
| Contributing | 221 | 27% | 1900-1919 | 50 | 4 |
| Non-Contributing | 198 | 24% | 1920-1939 | 78 | 8 |
| Vacant Land | 167 | 20% | 1940-1959 | 58 | 71 |
| | | | 1960-1979 | 19 | 50 |
| | | | 1980-present | 0 | 64 |

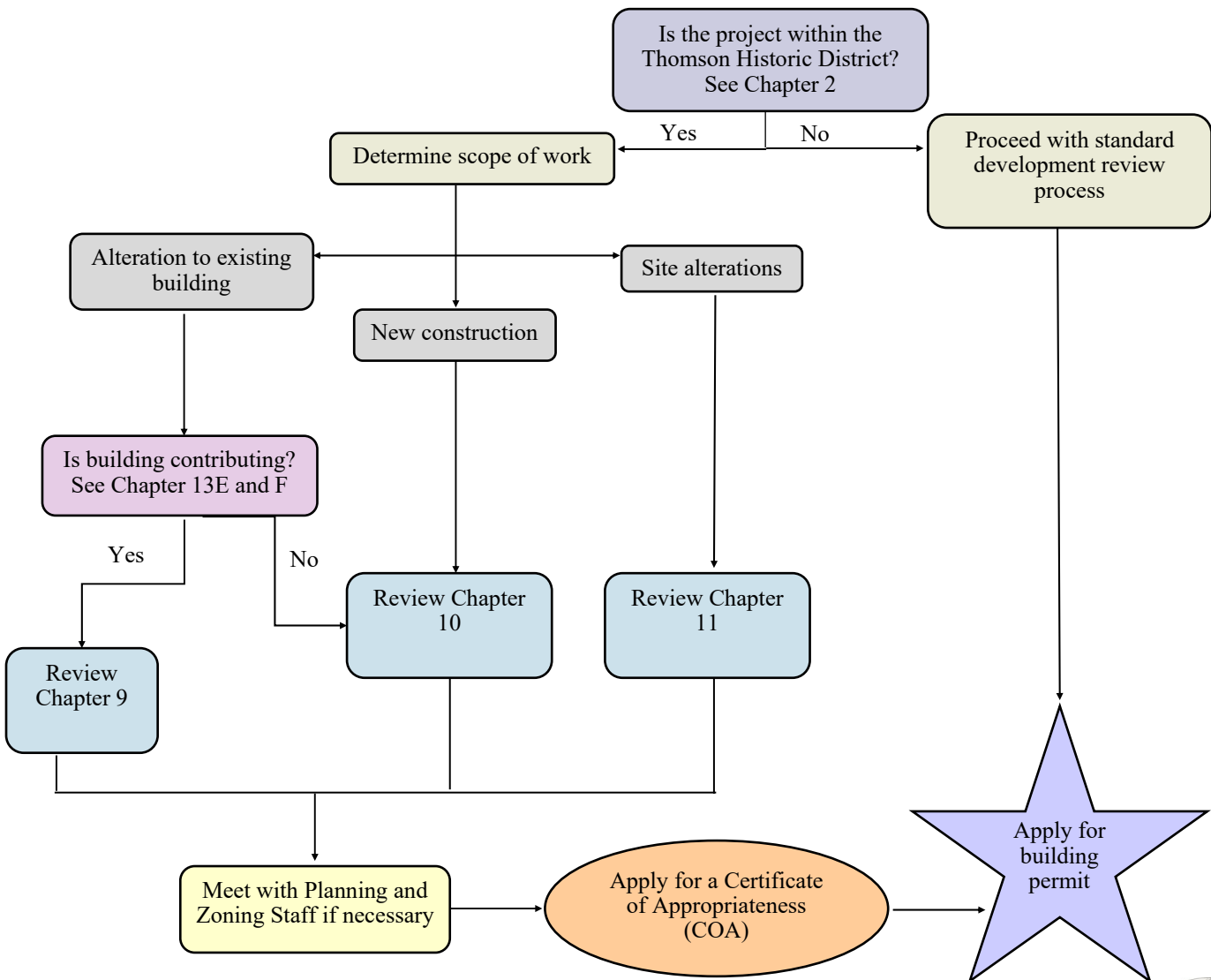
| History Hills Subdivision | Number of Properties | Percentage |
|---------------------------|----------------------|------------|
| Contributing | 45 | 92% |
| Non-Contributing | 4 | 8% |

Thomson Residential Design Guidelines





The Thomson Historic Preservation Commission (HPC) consists of five members, all of whom must be City residents and have a demonstrated interest in historic preservation. The HPC holds meetings monthly. A schedule of HPC meetings can be found on the City’s website. All meetings are open to the public. The HPC reviews all material changes in appearance to local historic properties and districts and has authority to approve or deny Certificates of Appropriateness (COA) for projects within the Thomson Historic District.



Thomson Residential Design Guidelines





The Thomson Historic District Residential Design Guidelines is the next step in the City's ongoing effort to protect its historic resources.

In 2007, the City of Thomson adopted a historic preservation ordinance which created the Thomson Historic District and established the Thomson Historic Preservation Commission (HPC).

The HPC utilized the Secretary of the Interior's Standards for Rehabilitation to evaluate projects but eventually determined that a more comprehensive document was needed to assist in the decision-making process.

McDuffie County received a Historic Preservation Fund grant in 2021 to create design guidelines for the residential portion of the district. Consultant Ethos Preservation was awarded the contract.

Historic research was completed to establish the Period of Significance as 1835 (Usry House) to 1947 (end of the American Small House period) in most of the district. However, a Character Area of the district, the Hickory Hills Subdivision, has a period of significance of 1949 to 1969. Ethos consulted with City of Thomson staff, the Historic Preservation Commission, and community residents throughout the process.

Ethos Preservation completed a historic resources survey of the residential portions of the district documenting each resources and determining if it was contributing or non-contributing.

Character-defining features were identified and the residential design guidelines were developed. A final draft of the Thomson Historic District Residential Design Guidelines was presented to the Historic Preservation Commission on March 7, 2022.

Thomson Residential Design Guidelines





The residential design guidelines serve as a user-friendly complement to the standards provided in the Historic Preservation Ordinance, Chapter 2, Article IV, Division 4, Section 2 of the City of Thomson's Zoning Ordinance. The guidelines reinforce and expand upon the standards to more comprehensively address issues affecting property owners within the Thomson Historic District. The guidelines are designed to be generally applicable to all building styles and types, and are not intended to address rare and unusual situations. It is helpful to consult with Planning and Zoning Department Staff in the planning stage of a project. This helps to ensure all the standards are met.

Step-by-Step Guide

Step 1: Verify that the property is within the Thomson Historic District. Consult Chapter 2 to determine if the property is within the boundaries.

Step 2: Determine scope of work. Different projects have different standards which apply:

- Alterations or additions to existing buildings
- New construction
- Site alterations (including signage, fencing, parking, etc.)

Step 3: If the project involves alterations to an existing building, determine if the property in question is considered "contributing." Contributing, or historic structures, have different standards than non-contributing buildings. Consult Chapter 13E and F to determine if a property is contributing.

Step 4: Review the applicable standards, as determined by the scope of work. The guidelines elaborate on and explain the design standards.

- Alteration to existing buildings
 - * Contributing: Review Chapter 9
 - * Non-contributing: Review Chapter 10
- New construction: Review Chapter 10
- Site alterations: Review Chapter 11

Thomson Residential Design Guidelines



Step 5: Prepare a Certificate of Appropriateness (COA) application (see Chapter 6) and supplementary documentation. The COA will either be reviewed by Staff or the Historic Preservation Commission (depending on the scope of work) for consistency with the design standards and guidelines. If reviewed by the Historic Preservation Commission, a public meeting will be held of which the applicant will be notified in advance. Once the design standards are met, a COA will be issued by mail and e-mail, when available.

Step 6: Apply for a building permit for the work. A COA must accompany the building permit application in order for a building permit to be issued.

Step 7: Complete the project! The COA is valid for 12-months. A one-time 12-month extension is available, if needed, to finalize the project.



Common Questions

Who Uses the Design Guidelines?

Property Owners and Design Professionals: Property owners and design professionals (such as architects, engineers, and contractors) should consult the residential guidelines for any project that affects the exterior of a residential property within the district, including maintenance and repair, construction of an addition, new construction or demolition.

City of Thomson Planning and Zoning Department Staff: Staff of the Planning and Zoning Department use the residential guidelines when providing guidance to property owners, determining if administrative approval is appropriate, and making recommendations to the Historic Preservation Commission.

Historic Preservation Commission Members: The residential guidelines are also intended for use by the Historic Preservation Commission (HPC). While the HPC considers the particular circumstances and context of a specific property for an individual review, the HPC uses the guidelines as a basis for their approval or denial of a COA application to ensure it employs an appropriate approach. Use of the guidelines helps to ensure that reviews are consistent, fair, and rooted in the standards.

Community Members: Use of the residential guidelines helps to ensure that reviews are consistent and maintain the character of the district.

What's in the Guidelines?

The guidelines expand on and explain the design standards found in the ordinance and are intended to apply to residential buildings. There are standards which apply to alterations to existing buildings as well as standards for new construction.

When to Use the Guidelines?

The guidelines should be consulted early in the planning process for any development within the district. This includes alterations to existing buildings as well as new construction. Early consultation will help to ensure that the scope of work is consistent with the guidelines and also that the timeframe for the review process is adequate.

Why Use the Guidelines?

It is important that the residential guidelines be consulted early in the planning process to avoid getting too far along with a project that might be considered inappropriate. This can help save both time and money in the long-run. If a project within the Thomson Historic District does not receive a COA (when required), a building permit will not be issued. If work proceeds, a stop work order may be issued or additional enforcement action taken.

Where is the Most Current Version of the Guidelines?

The residential guidelines may be amended from time to time to ensure consistency with the design standards and provide additional clarification. The most current version of the guidelines can be found on the City of Thomson's website.

Thomson Residential Design Guidelines





The history of Thomson, GA is inextricably linked with the growth of the railroad. The railroad was constructed through Thomson by 1837. The first structure associated with the railroad was a wooden depot (later replaced with a granite depot station in 1860). Most of the district is located to the north of the railroad tracks. The tracks were laid along the outer shelf of the Tuscaloosa geographic fall line which separates the Piedmont (red clay) and the Coastal Plains (white sand) in order to avoid watercourses.

Main Street, which originally led to Wrightsboro Road, is laid along the ridge of the fall line.

Initially, most of the land that is today part of the city of Thomson was owned by John Langston, a farmer who converted his house into a hotel to serve the travelers and workers of the railroad. The final route of the railroad was Augusta to Atlanta.

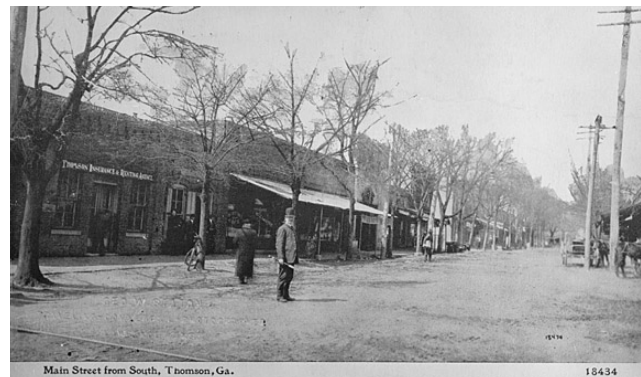
Reverend J.H. Stockton, Langston's son-in-law, followed his example and purchased land to the south of the railroad. He is sometimes credited with the development of the downtown business center. He established building lots and in 1850 built the Greenway Hotel (later Knox Hotel). Mercantile stores were established along the railroad and residences were established beyond that. A prominent business man and civic leader, Mr. Stockton gave land to establish the first high school and the First Baptist Church.

In the early days, Thomson was called "Hickory Level," "the Slashes," and "Frog Pond" but was later named after J. Edgar Thomson of Philadelphia, Pennsylvania, the chief civil engineer and surveyor of the Georgia Railroad.

On February 15, 1854, Thomson was incorporated in Columbia County. In 1870, McDuffie County was created from parts of Columbia and Warren counties and Thomson, near the center of the new county, was established as the new county seat.



Railroad Street, 1910. Digital Library of Georgia



Main Street, 1910. Digital Library of Georgia



Knox Hotel, 1910. Digital Library of Georgia

Thomson Residential Design Guidelines

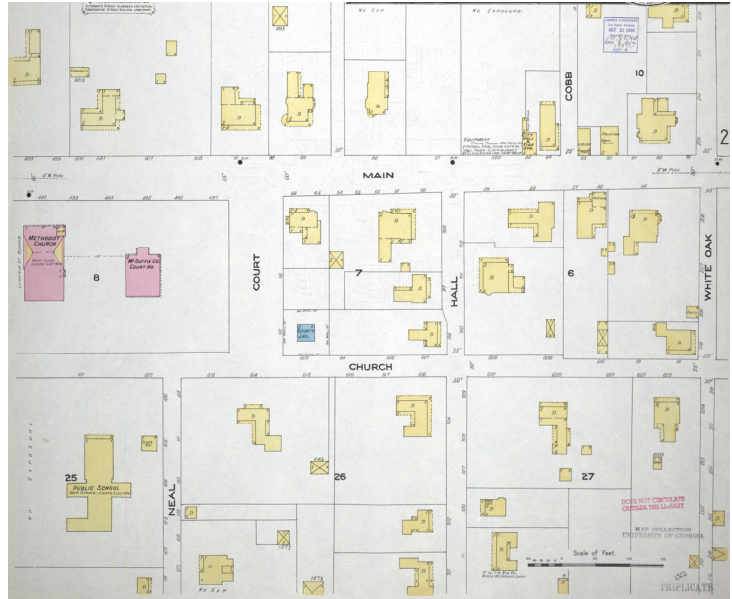


The town was incorporated as the City of Thomson in 1920.

The town was significantly damaged by fires in 1886, 1888, and 1910.

The oldest home in the district is the Usry House (211 Milledge Street) which dates to 1830. Originally a frontier cabin, the home evolved into a Plantation Plain house and then to a large late Greek Revival mansion.

The older homes in the district date from the mid to late 20th century and were owned by wealthy merchants. These homes are predominantly located in the central part of town along the streets of White Oak, Main, Gordon, Milledge, Tom Watson Way, East and West Hall, Jackson, and Lee Streets. There are a variety of architectural styles represented including Italianate, Folk Victorian, Queen Anne,



1908 Sanborn Map, Digital Library of Georgia



Be Sure to Attend
 the
KNOX HOMES
HOUSING SHOW
 2061 TELFAIR STREET, AUGUSTA, GA.
Wednesday, May 28

Visit and Inspect
 the completely equipped and furnished demonstration
KNOX HOME

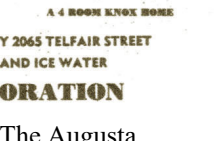
- SEE 3 KNOX HOMES ERECTED IN ONE DAY!
- A 6 Room House Will Be Started at 8:00 A. M.
 - A 5 Room House Will Be Started at 9:00 A. M.
 - A 4 Room House Will Be Started at 10:00 A. M.

Watch the special Knox Corporation crews completely erect three modern attractive Knox Homes expertly and quickly—right before your eyes.

Don't Miss
 THE AWARD PRESENTATION CEREMONY
 for the
 WINNING WAR VETERAN AND HIS WIFE
 in the
KNOX HOMES CONTEST

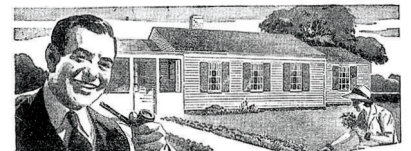
WEDNESDAY—12:30 P. M., at the Site

IF TIRED AND THIRSTY STOP BY 2065 TELFAIR STREET
 FOR FREE SOFT DRINKS AND ICE WATER
KNOX CORPORATION



Craftsman, Mediterranean Revival, and even International Style.

The Hickory Hills Subdivision in the northwest portion of the district was first platted in 1948 as the first phase of development. It is dominated by post WWII pre-manufactured housing, consisting primarily of the American Small House and ranch types. Many of the American Small House types were manufactured by the Knox Company and are known as “Knox boxes.” The Knox family established a lumbermill in the early twentieth century and later evolved into a construction company, specializing in pre-manufactured homes, creating as many as 40 homes a day and priced at less than \$10,000.



Here's What KNOX Is Doing
 About the Housing Shortage
You Too Can Own A Knox Home!

KNOX has through the experience and knowledge gained in over 50 years of home construction behind the building of the sensational new KNOX HOME.

For the plant-assembled, precision-built KNOX HOME was designed by one of the nation's leading firms of architects, to fit the requirements of families in the low and middle-income brackets. KNOX HOMES which can be erected by competent builders in 30 days, are offered in 4, 5 or 6 room sizes, with several variations in exterior appearance and many types of finishes. Your KNOX Home is well-constructed, handsome, lasting, a home to be proud of. And your KNOX HOME construction is FHA approved!

If you cannot locate an authorized KNOX HOME dealer in your community, write us direct, and we will give you the name and address of the Knox Home dealer nearest you.



Knox Homes advertisement. The Thomasville Times-Enterprise, November 4, 1947.

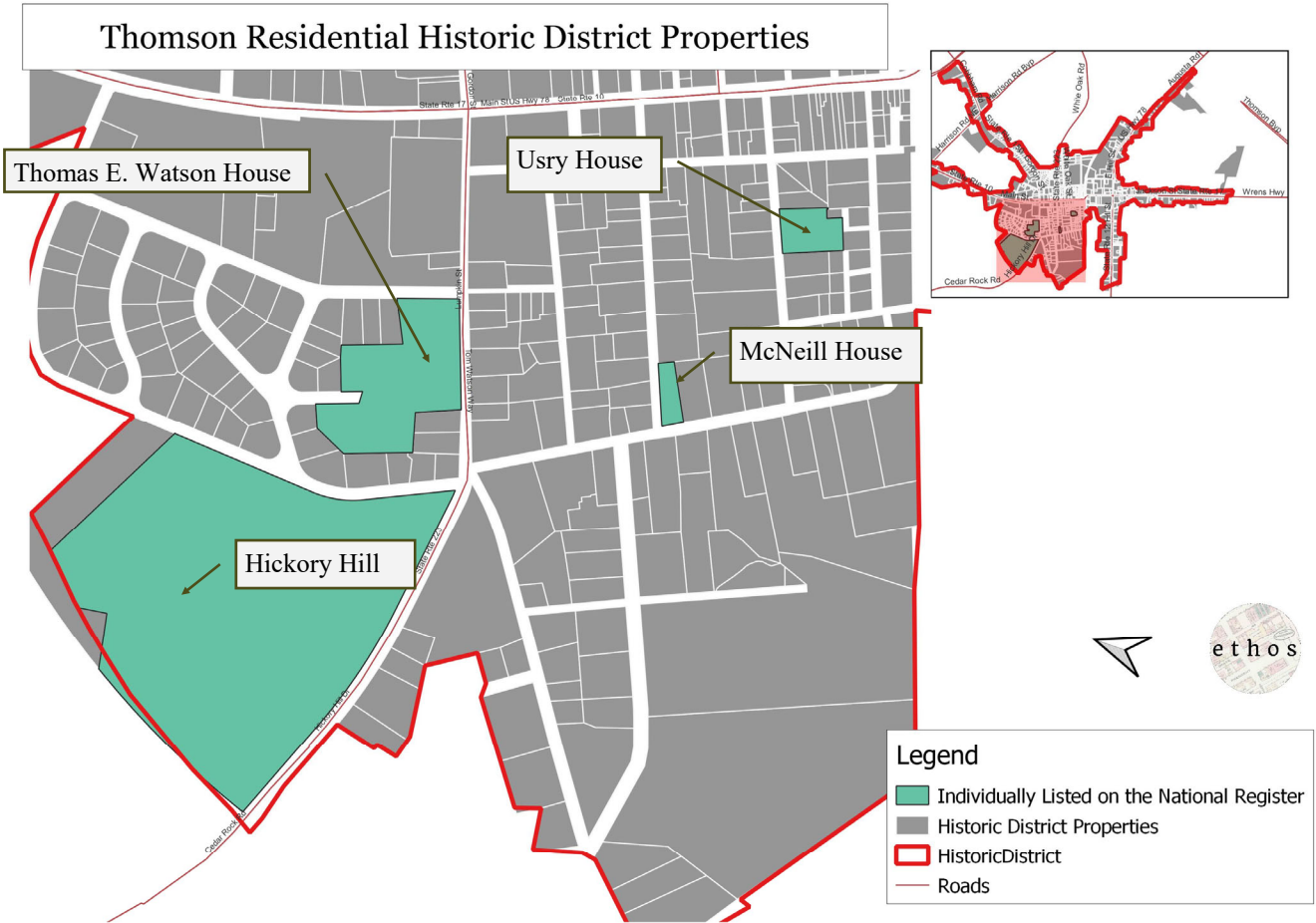
Knox Homes advertisement. The Augusta Chronicle, May 28, 1947.

Thomson Residential Design Guidelines



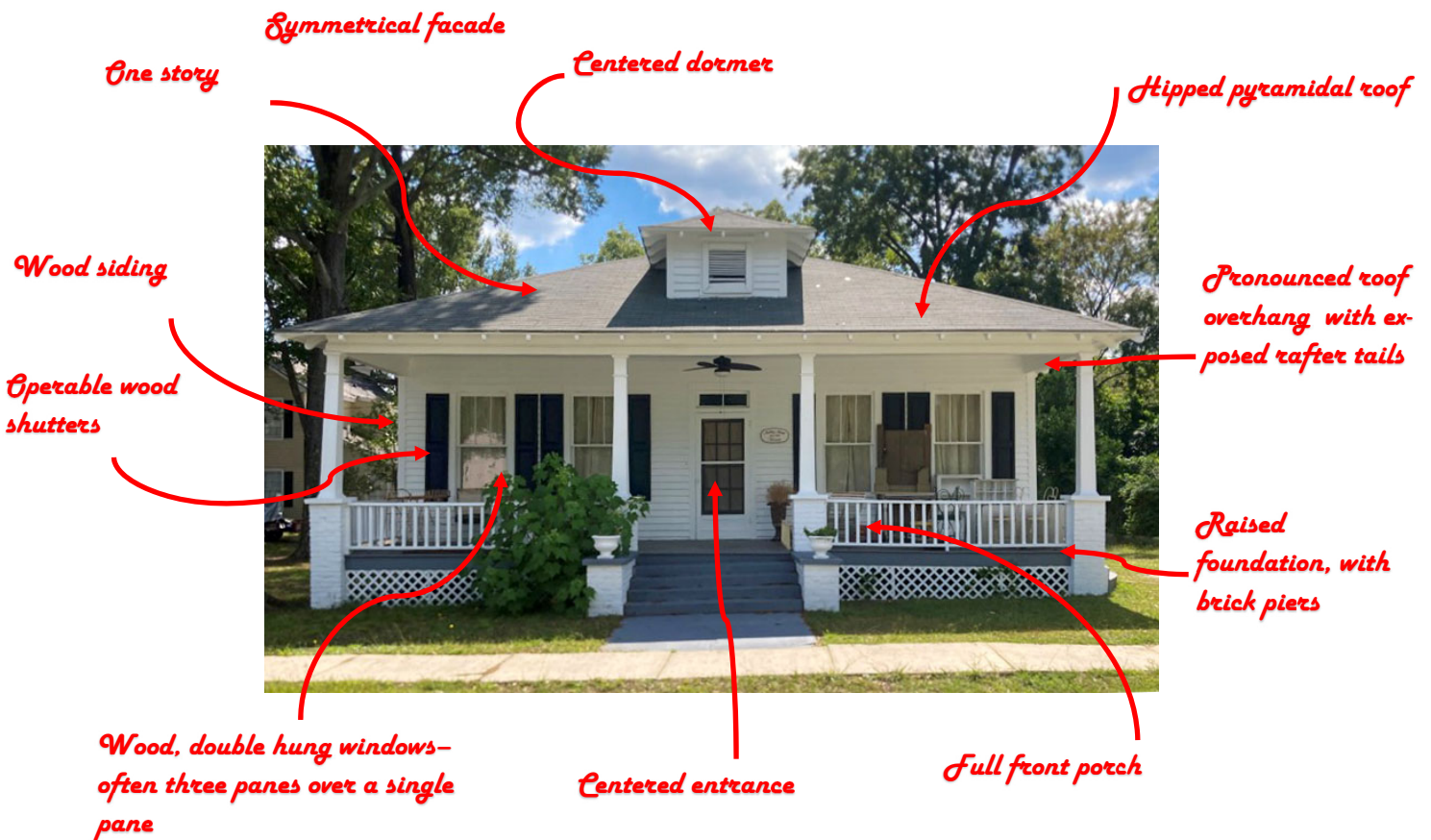
Ranch houses, also prominent in the area, represent Contemporary, Colonial Revival, and Plain-Style architectural styles. The southern and western portions of the district are characterized by vernacular and Ranch single family residences dating from 1940s-1960s.

There are four residences individually listed on the National Register of Historic Places: Hickory Hill (1979), McNeill House (1992), Usry House (1974), and Thomas E. Watson House (1976).





The creation of design guidelines is rooted in an understanding of the character-defining features that make up each historic building within a district as well as the character-defining features of the district itself. These typically are the elements that your eyes are drawn to first and are considered a building's dominant features. Together, these individual elements make up a larger whole which conveys a building's significance. Like a building, a district has character-defining features which together make up the district's overall setting, context, and sense of place. It is the goal of the Thomson Residential Design Guidelines to retain and preserve the character-defining features of the District and its individual historic resources and ensure that new construction and alterations to existing buildings are executed in a way that is harmonious with the District's historic context. Because the District has multiple styles of architecture, several examples are provided. Additionally, the Hickory Hill Subdivision Character Area has its own, separate character-defining features.



Character-defining features of 205 West Hall Street

Thomson Residential Design Guidelines



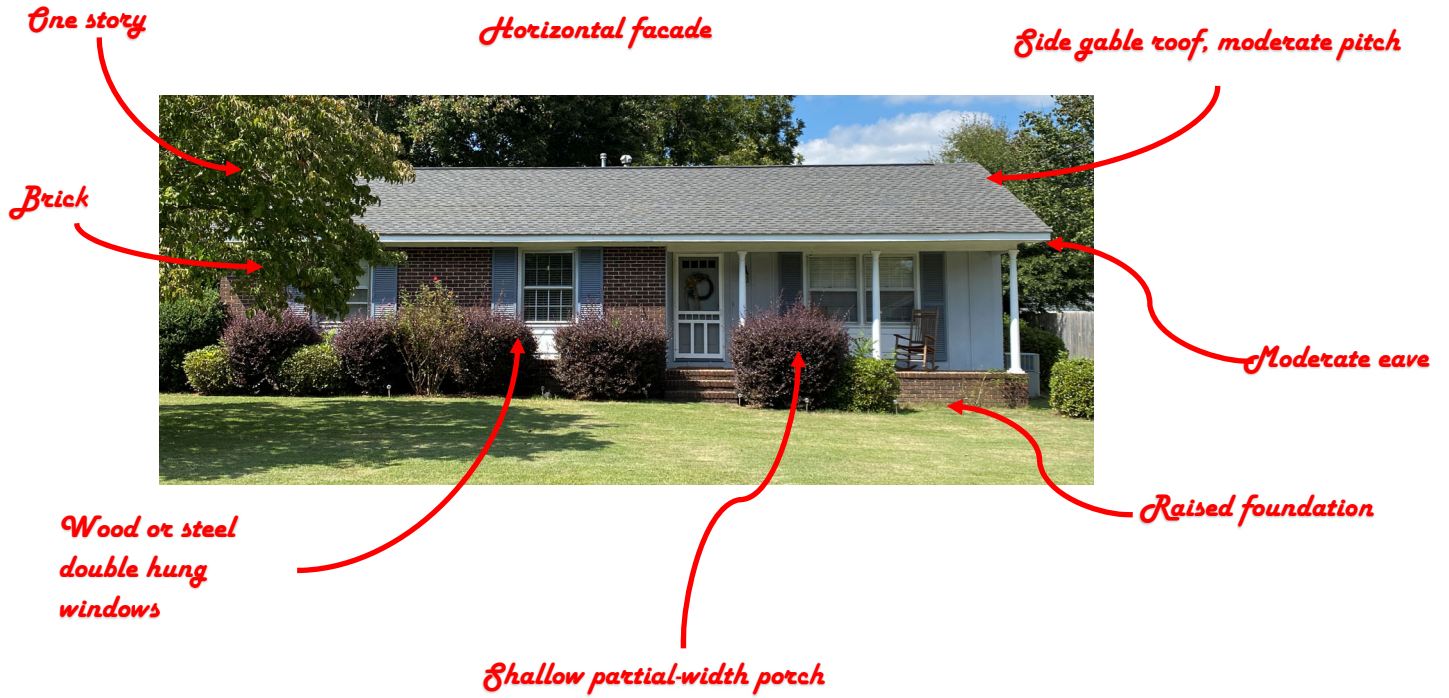
Symmetrical facade



Character-defining features of 223 Lee Street



Character-defining features of 244 Jackson Street



Character-defining features of 316 Magnolia Drive—
Hickory Hills Subdivision Character Area

*One story, modest foot-
print*

*Moderate sloped, side-gabled
roof shape with asphalt shingles*

*Asbestos
siding and
brick*

*Shallow
eave*

*Wood or
aluminum,
double hung
9/9 windows*

*Modest
stoop*



Raised foundation

Character-defining features of 310 Camellia Drive—
Hickory Hills Subdivision Character Area

Character– Defining Features of the Thomson Residential Historic District

The character-defining features of the Thomson Historic District reflect the variety of architectural styles typical in many small towns throughout the southeast. Thomson has examples of Italianate, Folk Victorian, Queen Anne, Craftsman, Mediterranean Revival, and even International Style.

Setbacks

The setback of buildings is generally consistent among contributing buildings. Smaller buildings tend to be set closer to the street while the larger homes are generally set further back. Homes have modest front yards and generous backyards.

Stories

The district features one and two story residences.

Foundation Materials and Configuration

Contributing homes feature raised foundations, either continuous or piers, made of brick or stucco. The space between piers is frequently infilled with brick, block, stucco and trellis.



Brick piers infilled with brick in a lattice pattern

Wall Materials

Walls are constructed of wood siding, wood shingles, brick, and occasionally stucco.

Windows

Windows are typically wood, double hung, and taller than they are wide (except accent windows). Many homes feature multiple panes on the top sash over a single pane in the bottom sash. Shutters, when present, are wood, sized to fit the openings, and operable.

Doors

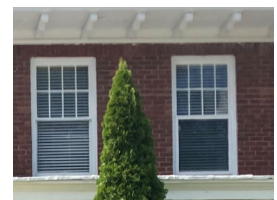
Doors are often paneled wood and frequently feature transoms and sidelights.

Porches

Most contributing residences feature full or partial front porches. When absent, many residences feature front stoops. Many Victorian and some Craftsman era homes feature wrap-around porches.



1921 Sanborn Map



8/1 double-hung wood windows



Ornamentation

Buildings often feature moderate to elaborate ornamentation, depending on building style, including corbels, decorative columns, decorative balustrade, brackets, and spindle work.

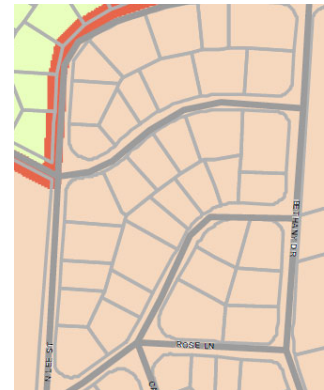
Roof Materials, Shape, Configuration

Roof materials consist of standing seam metal, asphalt shingles, and occasionally terracotta tiles.

There are a variety of roof shapes in the district, dependent largely on architectural style. Folk Victorian and Queen Anne style homes typically have steeper pitches and irregular roof forms. Craftsman, Mediterranean Revival, and Italianate styles typically feature moderate pitched, side or front gables, and hipped roof forms. These buildings often feature pronounced overhangs with corbels. International Style houses typically feature a flat roof with parapet. Centered single dormers are also a common feature. Brick chimneys are also common.

Character- Defining Features of the Hickory Hills Subdivision Character Area

The character-defining features of the Hickory Hills Subdivision are more limited, reflecting the tighter period of historic significance (1949-1969) and more limited building styles. The American Small House and Ranch Houses are the dominant building type.



Street Character

The streets of the Hickory Hills Subdivision are curvilinear and feature relatively large lots.



Setbacks

Buildings have consistent and generous setbacks.

Stories

Buildings are limited to one-story in height with an occasional two-story.

Footprint

Footprints are modest. American Small Houses are compact in their building form and tend to be more square in shape than Ranch Houses. Ranch Houses are more horizontal in form and often have garages or carports incorporated into the primary façade. Duplexes are also found in the area.

Foundation Materials and Configuration

Slab on grade foundations are common, although raised foundations are also common. Raised foundations are typically continuous and consist of brick, stucco, or concrete block.



Wall Materials

Buildings feature brick, vinyl and aluminum siding, wood siding, and asbestos shingles.

Doors

Doors tend to be simple and consist of wood or steel.

Windows

Windows are typically double hung, single hung, or casement. They are often paired or in triples, and are usually taller than they are wide. They consist of wood, aluminum or vinyl. Window trim tends to be minimal. Applied shutters are common.

Porches

Modest stoops are much more common than porches.

Ornamentation

Ornamentation is minimal.

Roof Materials, Shape, and Configuration

Roof materials consist of architectural or three-tab asphalt shingles. Front, side and cross gable are common configurations. Hipped roofs are also common. American Small Houses tend to have very shallow eaves, while Ranch Houses have moderate eaves.





Given the importance of individual features in defining the overall character of a building, it is necessary to give appropriate consideration to how a proposed change, even if seemingly minor, may affect the historic character of a building. With this in mind, maintenance and rehabilitation projects should not be viewed as isolated actions but rather as a series of related activities that over time affect the perception of the historic places that define the community. By adhering to a set of universal preservation principles rooted in best practices, projects can be guided to respect and maintain the unique character of the Thomson Historic District. This is best illustrated in the Secretary's Standards for the Treatment of Historic Properties which were established in 1966 as part of the National Historic Preservation Act. The ten standards associated with Rehabilitation are incorporated into the Thomson Historic District Ordinance and can be found in their entirety in Chapter 13A. These standards are the backbone of this chapter and all historic preservation review. Additionally, the National Park Service has published a number of "Preservation Briefs" which illustrate and explain the appropriate treatment for historic buildings in detail, covering everything from the repair of historic windows to incorporating ADA standards into historic buildings. A list of these Preservation Briefs can also be found in Chapter 13B.

The following guidelines apply to alterations of all contributing residential buildings within the district. For the purposes of this section, these standards also apply to buildings which were historically residential but have been converted to commercial or other uses. Because of its unique period of significance and architectural style, the Hickory Hills Subdivision Character Area sometimes has differing design guidelines. These guidelines will be called out in a purple box.

Foundations

Historic foundation materials and design should be preserved, maintained, and restored whenever applicable. Preservation of foundation materials means that care is taken to ensure continued stability and maintenance. A regular inspection should ensure that:

- Piers are structurally sound,
- Mortar joints are not brittle or crumbling,
- Piers are absent from invasive vegetation,
- Foundation is dry and free from moisture intrusion.

Rising damp resulting from pooling rainwater in low lying areas can lead to the wicking of moisture away from the earth through porous materials such as brick, wood, or even cracked concrete. When examining foundation problems, a building's site and setting should be examined and addressed.

Unpainted historic brick should not be sealed, painted, or stuccoed. Painting or sealing brick that was



historically unpainted and unsealed is considered an insensitive alteration. Further, in some instances, paint and masonry sealants can hinder the ability of historic masonry to breathe, hindering the natural movement of moisture through the brick. Stucco spread over masonry creates a new appearance altogether and should not be performed.

The re-pointing of historic lime mortar should utilize mortar of a similar color, texture, profile, and composition. The re-pointing of historic brickwork with mortars that contain a high percentage of Portland cement should not be employed.

With the evolution of construction techniques, brick masonry and mortar compositions have changed over time. Historically, bricks and mortar were softer and more porous. Care should be taken to ensure that any alteration or rehabilitation of historic brick foundations involves:

- Repointing using lime mortar. Lime mortars are usually composed of two parts sand to one-part lime. Harder modern mortars with high contents of Portland cement will resist the warm weather expansion of brick, causing cracking and spalling, and should never be used.
- Mortar mixes should be tinted if necessary to match the color of the original mortar as closely as possible.
- Mortar joints should be thin and tooled match any original joints that remain.
- Parging, or the use of stucco or mortar to create a smooth surface over brick should be avoided as a rehabilitation technique.



Historic masonry that has been repointed with Portland cement which has led to degradation.

Hickory Hills Subdivision Character Area– Alternative Design Guidelines

A high percentage Portland cement mortar is appropriate for repointing bricks within the Hickory Hills Subdivision Character Area.

Building Walls



Exterior materials and design should be preserved, maintained, and restored on walls and gable ends including wood siding and shingles, brick, stucco; and original details such as gable end returns, cornice details, corner boards, engaged columns, and door and window trim.

The exterior should be free of invasive vegetation. Wood surfaces should be dry and painted, free of chipping paint to ensure no unfinished surfaces are exposed to moisture, weatherization, or termite infiltration. When

deterioration is present, first identify and treat the cause and source. Often, faulty flashing, leaking gutters, cracks and holes, deteriorated caulking at seams, plant material, and insect or fungus infestation can lead to deterioration.

If the replacement of building wall materials or features is necessary, only deteriorated materials should be replaced with materials in-kind to match the existing in both design and finish.

While each material has a different threshold, “deteriorated beyond repair” generally means that more than 50% of a material feature is no longer in serviceable condition and repair is no longer feasible by patching, splicing, or otherwise reinforcing deteriorated materials.

Paint or other coatings, such as stucco, should not be permitted on unpainted or uncoated historic masonry, as it is considered an insensitive alteration. Further, in some instances, paint and masonry sealants can hinder the ability of historic masonry to breathe, hindering the natural movement of moisture through the brick. Stucco spread over masonry creates a new appearance altogether and should be avoided.

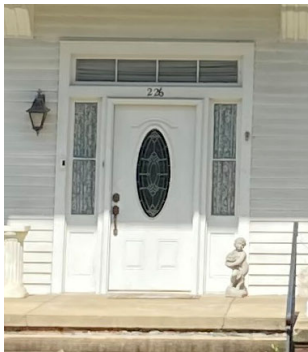


Synthetic or imitation materials such as vinyl or aluminum siding, brick veneer, Exterior Insulation Finishing Systems (EIFS), or asphalt siding should not be utilized. These materials do not have the same visual and aesthetic appearance as historic materials. Additionally, they often have a shorter life-span and degrade at a quicker rate than historic materials. Often, synthetic materials that cover historic materials can trap moisture beneath, causing additional, unseen, long-term damage.

Hickory Hills Subdivision Character Area– Alternative Design Guidelines

Vinyl and aluminum siding may be appropriate materials in the Hickory Hills Subdivision Character Area.

Windows and Doors



Original doors and windows visible from the public right-of-way should be preserved, maintained, and restored to include associated transoms, sidelights, moldings, trim, and other elements.

Doors and windows are integral, character-defining features to the historic buildings of Thomson, serving to break up facades, allow natural light and air to enter, and add visual interest. Original window and door openings visible from the right-of-way should not be altered. Preserving historic window and door components should be considered a priority as inappropriate changes can diminish the integrity of a building.



The original pattern, shape, and size of window openings should be maintained. Where alterations are necessary for security or functionality, the changes shall not be discernible from the exterior.

Maintaining glazing putty and sealants to a good condition can minimize air and moisture penetration and improve energy efficiency. Further, adding weatherstripping can reduce infiltration by as much as 50%. Adding interior storm windows is another way to improve energy efficiency.

When replacement parts are necessary, elements should be replaced in-kind with features to match to include the duplication of profiles, massing, scale, and light patterns in design and material. Only the deteriorated section of a window should be repaired, removing as little historic material as possible. Wholesale replacement of entire window assemblies should be avoided when only isolated deterioration is present. If necessary, remove a sash from its frame before repairing in order to minimize inadvertent damage to other components. Only clear glass should be used when repairing damaged units on the front facade. Tinted, reflective, opaque, or patterned glass should not be used unless it was historically present.

If the original window or door material and/or configuration is unknown, or if a new window or door is proposed in an unoriginal opening, the new window or door material and configuration should be based on historic context.

Contributing buildings within the district share similar attributes. Additionally there are commonalities in elements and design employed within specific building styles. When historical, photographic, and/or physical evidence does not exist, other contributing buildings of the same style may be used as a reference in the rehabilitation a contributing building.

Shutters may be added to a building provided there is historic evidence of such (physical or pictorial). Shutters should be wood or solid PVC, sized to fit the opening and operable.

Porches, Stoops and Ramps

Historic porches and stoops should be preserved, maintained, and restored to include all character defining features such as handrails, balustrades, columns, brackets, floors and ceilings, roofs, rafters, eaves, etc.

Most contributing residences within the Thomson Historic District incorporate a porch on the front facade. Providing shelter, decoration, and outdoor space for living and working, porches are character-defining features and should be preserved whenever possible.



Regular maintenance should include sweeping the porch decking. Removing dirt and leaves by sweeping, is preferable to hosing the deck off with water so as not to saturate woodwork and promote decay. Vines and plants should be trimmed and not be trained to grow onto or allowed to grow beneath porches. Plants and vines reduce ventilation, promote a moist environment for insects and decay, accelerate open wood joints, and impede cyclical maintenance.

Wood surfaces should be dry and painted and free of chipping paint to ensure no unfinished surfaces are exposed to the elements or moisture or termite infiltration.

Porch and stoop elements should be retained, rather than replaced. If replacement is necessary, elements should be replaced in-kind based on documented and physical evidence, if possible.

Porches often contain more detail than other portions of the building to include chamfered posts, balusters, and other elements. Loose railings and balustrades present unsafe conditions and should be repaired as soon as possible.

Historic porches generally have railings that measure 28 to 32 inches in height from the floor. When modifications are proposed for historic balustrades, concessions may be made to allow for the preservation of original, non-compliant railing heights, if historical, photographic, and/or physical evidence exists. When necessary for safety, a simple rail may be installed above the historic railing to allow for the retention of the historic baluster while maintaining minimal impact to the porch's appearance.



Historic front porches/stoops should not be enclosed with any material because it alters the spatial relationship of the porch/stoop and building, and results in a loss of integrity.

Side and rear porches may be enclosed with screen, glazing, or shutters, provided the porches continue to read as a porch and historic material (such as columns and balustrades) are maintained in place.



Fiberglass (including Perma-Cast), vinyl, and PVC should not be utilized.

New porches/stoops should not be permitted on primary facades (the facade of building that faces the street or possesses the most prominent architectural articulation). Because primary facades are considered the most important façades, major changes, such as the addition of a porch or

Hickory Hills Subdivision Character Area– Alternative Design Guidelines

Stoops are more common than porches in the Hickory Hills Subdivision Character Area.



stoop, should be avoided. Such changes alter the integrity of the building. New porches/stoops may be permitted on secondary and rear facades, which are generally considered less visible and therefore less impactful.



Handicap accessible ramps or entryways should respect the character defining features, materials, and scale of the principal structure.

The incorporation of handicap accessible ramps can often prove to be a necessary addition to historic buildings and should be undertaken to provide welcoming access to those with disabilities in a manner that does not affect or obscure character-defining features and facades.

Ramps should be located on the side or rear of historic buildings whenever possible to minimize any negative impact on the primary façade. Ramps should be anchored to the ground instead

of the building to reduce damage to historic materials.

Ramps should be made compatible through the incorporation of design elements from the primary facade, such as similar materials, railing configuration, and column or post design. Fiberglass (including Perma-Cast), vinyl, and PVC should not be utilized. While these materials often look similar from a distance but upon closer inspection fail to resemble the aesthetic characteristics of historic materials. Synthetic materials age differently than their genuine counterparts and therefore tend to be much more noticeable in five to ten years, once some weathering has occurred.

Signage

Signage that covers, conceals, or otherwise hinders the appreciation of a historic building's character-defining features shall be considered incompatible and should not be used.

Signage should be carefully and sensitively located on historic buildings, to be reversible if possible.

Roofs and Chimneys

Original chimneys and roof materials, shapes, and pitch should be preserved, maintained, and restored to include associated eaves, rafters, overhang, materials, and architectural decoration such as gable end returns, cupolas, and chimney corbels. The roof shape and associated architectural features are cumulatively important to the overall integrity of the building.

It is critically important to maintain the roof to keep it free from cracks and leaks. If a roof leak is left unrepaired, the damage to the remainder of the structure can be swift and severe. The roof should be free of invasive vegetation.



When necessary, historic roof materials should be replaced in-kind to match as closely as possible the texture, color, design, and composition of historic roof materials. Rotten or otherwise damaged roof materials should be replaced with materials to match the historic materials.

Skylights should not be visible from the right-of-way.

Gutters and downspouts can detract from the historic and aesthetic appearance of the roof and

therefore should be minimally visible, and placed on a side or rear façade, whenever possible.

Additions

New additions should preserve the historic building's character, form, significant materials, and features. Additions should not impact historic character-defining features of the original building. Additions that cover or obscure the view from the right-of-way of character-defining features should be avoided.

Additions should be placed on rear or secondary elevations and be compatible in mass, size, scale, and design while remaining differentiated. Additions should be subordinate to the height and volume of the primary mass when visible from the street.

Additions should reference the roof shape, pitch, and complexity of the original building. Additions should be compatible with the character of the historic building but also distinct in that they stand as a product of their own time. Subtle changes in material and architectural details may be an appropriate means for distinguishing additions from the original building. Simplified details that reference the character of the original building are appropriate. Door and window openings that conform to the proportion, size, and rhythm of those on the original building should be used.



Additions should be installed in a way that is reversible, so that the essential form and integrity of the historic building remains if the addition is removed. The addition should be attached to the historic building in such a way that it could be removed in the future with relative ease and the original configuration of the historic building restored. Additions should never be anchored, cantilevered, or otherwise dependent on a historic building for structural stability.

Attached garage additions should have garage door openings to the side or rear of the building, not visible

from the primary street elevation. Garage openings should not exceed 12 feet in width.

Rooftop additions, including rooftop decks, can have a significant impact on the overall appearance of a building and therefore should be minimally visible. Rooftop additions should not be visible from the public right-of-way.

When placed on secondary facades and not visible from the right-of-way, dormers can sensitively provide for the incorporation of additional interior space.

Whenever possible, additions should be separated by a simple, recessed, small-scale hyphen, or connection, to physically and visually separate additions from historic buildings. Hyphens create a visual separation that can assist in the understanding and interpretation of what is historic and what is new. Hyphens allow for the preservation of interior floor plans through the creation of new spaces that are separate through a connecting element. Hyphens allow for greater opportunity for reversibility and minimal damage to the historic structure, should the addition later be removed.



Mechanical Equipment

All mechanical equipment, whether roof, wall, or ground mounted, should be located on the side or rear façade and screened from view from any public right-of-way.

Accessory Buildings



All accessory buildings should be designed to resemble the architectural features (including materials, details, roof shape, etc.) of the contributing building on the parcel or should be screened from public view.

Accessory buildings should be located to the side or rear of the contributing building.

Accessory building should be smaller in mass, scale and height than the contributing building so as to not compete.



New construction is not required to be a replica of historic architecture but should be compatible. The following guidelines provide methods and techniques to help ensure compatibility while still respecting the character-defining features of historic architecture. New buildings with similar mass, height, form and materials may have a contemporary expression.

The following design guidelines apply to residential new construction, additions, alterations to non-contributing resources within the district. Though certain building materials are specified below, the Historic Preservation Commission may approve alternative materials upon a showing by the applicant that the material or product is visually compatible with historic building materials and has performed satisfactorily in the local climate. Because of its unique period of significance and architectural styles, in some cases, the Hickory Hills Subdivision Character Area will have differing design guidelines. These guidelines will be called out in a purple box.

The visual compatibility criteria give general guidance for evaluating new construction and alterations within the District. The Design Guidelines provide more specifics in terms of how to apply the Visual Compatibility Criteria.

Visual Compatibility Criteria

Height

The overall height and the height of individual components of the proposed building or structure should be visually compatible with contributing buildings and structures to which it is visually related.

Width

The proportion of the overall width and the width of individual components of the proposed building or structure should be visually compatible with contributing buildings and structures to which it is visually related.

Scale

The overall scale and the scale of individual components of the proposed building or structure should be visually compatible with contributing buildings and structures to which it is visually related.

Setbacks

The setbacks of the proposed building or structure should be visually compatible with setbacks of contributing buildings and structures to which it is visually related.

Rhythm

The relationship of a building or structure to the open space between it and adjacent buildings or structures should be visually compatible with open spaces between contributing buildings or structures to which it is visually related.

Openings

The rhythm and solid-to-void ratio of the proposed building or structure should be visually compatible with contributing buildings and structures to which it is visually related.

Projections

Entrances, porches, and other projections of the proposed building or structure should be visually compatible with contributing buildings and structures to which it is visually related.

Materials

The relationship of materials and textures of the proposed building or structure should be visually compatible with contributing buildings and structures to which it is visually related.

Roof Shapes

The roof shape of the proposed building or structure should be visually compatible with contributing buildings and structures to which it is visually related.

Design Guidelines

Setbacks

The front, rear and side yard setbacks for the principal building shall be determined by the base zoning district.

Height and Mass

The height and mass should be subdivided both horizontally and vertically to convey human scale and visual interest that reflects the traditional size of buildings.

Buildings should not exceed two stories in height unless a taller contributing building exists within the same block.

Floor to Floor Heights

The exterior expression of the height of the first story should not be less than 11 feet and the height of the upper stories should not be less than 10 feet.

Hickory Hills Subdivision Character Area- Alternative Design Guidelines

There should be no minimum floor to floor heights in the Hickory Hills Subdivision Character Area.

Foundation

Foundations may be constructed of brick, stone or stucco over concrete block piers.



The space between piers may be filled with heavy gauge wood lattice with at least one-half (0.5) inch thick lattice boards, horizontal boards, brick, or stucco over concrete block. Infill material should be recessed a minimum of three (3) inches behind the front edge of the pier so that the piers are clearly visible and differentiated.

Slab-on-grade foundations may be permitted where the slab has been built up to a minimum of 30 inches.

Foundations should be the average height of foundations on contributing buildings on the block face, or if no contributing buildings exist, should have a minimum finished floor height of 30 inches above grade.

Beneath a wood frame building, the foundation should be recessed and not project forward of the building plane.

Hickory Hills Subdivision Character Area– Alternative Design Guidelines

There should be no minimum foundation height in the Hickory Hills Subdivision Character Area.

Exterior Walls

The following materials may be permitted: Brick, stone, wood, true stucco, and smooth fiber cement horizontal lap siding.

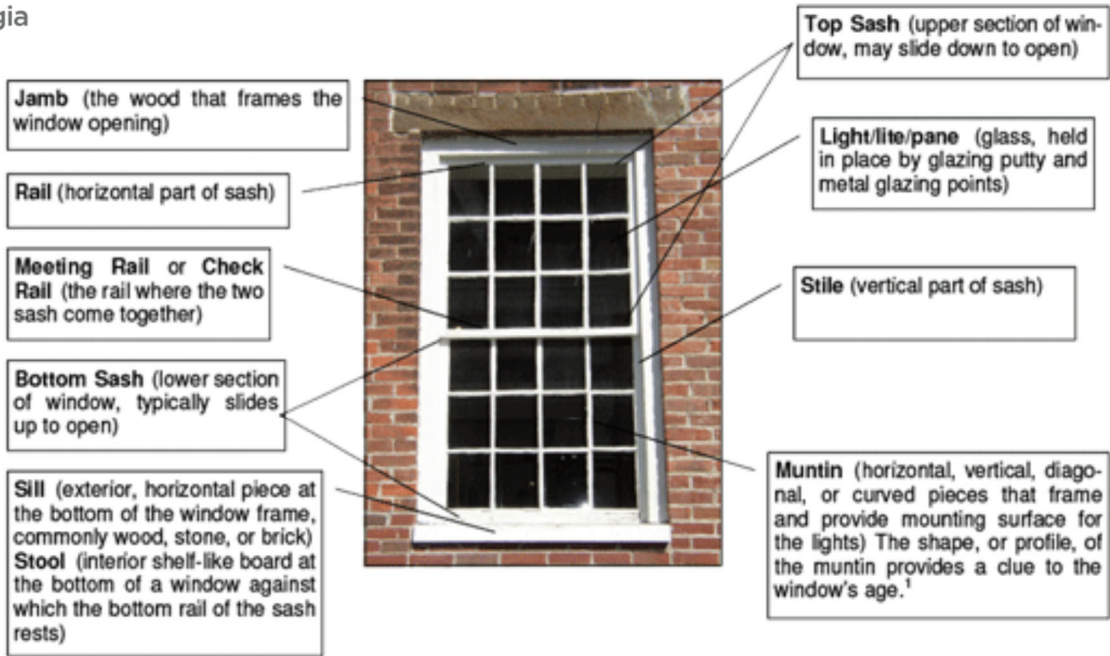
The following materials should not be permitted: Vinyl siding, aluminum siding, rolled asphalt, precast concrete panels, EIFS, T-111, corrugated metal, unpainted exposed CMU blocks, fiber cement panels, and metal panels.

Hickory Hills Subdivision Character Area– Alternative Design Guidelines

Vinyl and aluminum siding may be used in the Hickory Hills Subdivision Character Area.

Windows and Shutters

Window casings and sashes should be made of metal, wood or clad wood material.

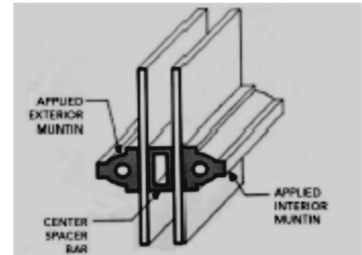


Window glass shall be transparent with no dark tints or reflective effects (except for stained glass windows). This provision does not preclude the use of Low Emissivity or laminated glass.

Solid vinyl windows should not be utilized.

Windows should be taller than they are wide, except for accent windows, which may be round or other shapes.

Windows should be single-hung, double-hung, triple-hung, awning or casement, except for accent windows which may also be fixed or hopper. Casement windows should have light divisions.



Simulated divided light windows may be utilized provided that the muntin is 7/8 inches or less, the muntin profile shall simulate traditional putty glazing, the lower sash shall be wider than the meeting and top rails, and there shall be a spacer bar in between double panes of glass. Between-the-glass, snap-in or applied muntins should not be utilized.

Framing members should be covered with appropriate trim; trim should feature a header, surrounds, and pronounced sill where appropriate.

Hickory Hills Subdivision Character Area- Alternative Design Guidelines

In the Hickory Hills Subdivision Character Area, buildings may utilize solid vinyl windows, provided that they feature fusion welded corners with a fully welded head and sill and has a minimum DP rating of 40. Windows may be wider than they are tall. Windows may be fixed and casement windows do not require light divisions.



Window sashes should be inset a minimum of three (3) inches from the façade on masonry buildings.

Bay windows should extend to the ground unless they are oriel, beveled or are supported by brackets.

All residential facades facing a street should incorporate transparent features (windows and doors) over a minimum of 30% of the ground floor façade.



Shutters

Exterior shutters should consist of a durable wood species or solid PVC.

Shutters should be sized to fit the window and operable (hinged and able to be closed over the window). The placement of the horizontal rail(s) should correspond to the location of the meeting rail(s) of the window.

Hickory Hills Subdivision Character Area– Alternative Design Guidelines

In the Hickory Hills Subdivision Character Area, shutters may be applied to the building and sized to the height of the opening, but not necessarily the width. Materials may include vinyl and aluminum.

Doors/Entrances

Doors should be of glass, wood, clad wood or steel without wood grain simulation.

Doors should not have a decorative diamond inset, half-moon inset, or other prefabricated ornamentation. Sliding doors should not be used on the primary façade.

Entrances should face the primary street on which the building is located (normally the street from which it takes its address).

Entrances on corner lots should be oriented in the same direction as entrances of adjacent buildings, toward the corner of the lot, or based on historic precedent.

Hickory Hills Subdivision Character Area– Alternative Design Guidelines

In the Hickory Hills Subdivision Character Area, doors may be also be vinyl and may have wood grain simulation. Entrances are not required to face the primary street.

Porches, Stoops, Balconies and Decks

Front porches (a minimum of six feet in depth) or covered or uncovered stoops (a minimum of four feet in depth and six feet in width) should be incorporated on all entrances for new ground floor residential construction.

On porches and stoops, piers and base walls should be the same material as the foundation wall facing the street.

Porch elements may be constructed of brick, painted or stained wood, wood composite, precast stone, marble, sandstone or slate. Vinyl and PVC should not be used.



Wood portico posts should have a cap and base molding.

Balusters should be placed between the upper and lower rails, and the distances between balusters should not exceed four (4) inches on center. The height of the railing should not exceed 36 inches for single- and two-family dwelling units.

Front porches should not be enclosed.

Uncovered decks should be located at the rear of the building or screened from view from the public right-of-way.

Roof

Roof coverings should be standing seam metal, v-crimp, architectural asphalt or similar shingles, or terracotta tile. Metal roofs should have a metal drip edge covering all edges and a maximum seam height of one inch.

Shed and porch roofs, subordinate and attached to the primary building, should be pitched between 2:12 and 6:12. Gable and hip roofs should be symmetrically pitched between 4:12 and 10:12.

Skylights, and roof vents may be permitted if integrated into roof design. Pergolas and roof decks should not be located on the street façade.

Eaves should extend no less than 12 inches beyond the supporting walls. Gable end rakes should overhang at least eight inches. Eaves and rakes on accessory buildings and dormers should overhang at least eight inches.

Hickory Hills Subdivision Character Area– Alternative Design Guidelines

In the Hickory Hills Subdivision Character Area, gable and hip roofs may be between 2:12 and 8:12. Eaves and gable end rakes are not required.

Applied mansard roofs should not be utilized.

Mechanical Equipment and Refuse

Electrical vaults, meter boxes, communications devices, through-the-window air conditioners, and satellite dishes should be located on the secondary or rear façades and should be minimally visible.

Roof mounted equipment and HVAC units should be screened from view from the street.

Refuse storage areas for dumpsters and compactors should be located within a building or to the side or rear of the building and screened from the public right-of-way.

Alternative energy source devices may be permitted provided they are integrated into the building design.

Accessory Structures (including garages, carports and accessory dwelling units)

New accessory structures should be located in the rear yard.

The height and mass of the primary building should not be exceeded by any new accessory structure on the same parcel.

Accessory structures should not be more than two stories tall.

Attached garages should have garage door openings to the side or rear of the building, not visible from the primary street elevation. Garage openings should not exceed 12 feet in width.

Hickory Hills Subdivision Character Area– Alternative Design Guidelines

In the Hickory Hills Subdivision Character Area, garage openings may exceed 12 feet in width.





Parking and Paving

New construction should include a private sidewalk that connects the main entrance of the principal structure to the public sidewalk. Private sidewalks shall be constructed of brick, concrete, or stone.

Parking areas should be located in in the side yard behind the face of the front façade, or in the rear yard.

Driveways should be no wider than 12 feet.

Fencing and Walls

Fences may be constructed of wood, iron, brick, stucco over concrete block, or extruded aluminum. Chain-link, vinyl, PVC, and corrugated metal should be avoided.

Within the front yard, fences or walls should be limited to 36 inches in height. Within the side or rear yards, behind of the front façade of the building, fences or walls should be limited to eight feet in height.



The City of Thomson's Zoning Code Section 2-145 provides standards for demolition and relocation. Section 2-146 of the code provides standards for neglect. The standards from the ordinance are italicized below and additional guidelines for implementation are provided following each.

Demolition of Contributing Buildings

Demolition of a contributing building is very detrimental to the historic character of the Thomson Historic District. Every effort should be made to avoid demolition. There are only two circumstances in which demolition of a contributing building should be approved. The first is if the Zoning Administrator determines that there is a real and immediate threat to public health or safety, as supported by a report from a licensed structural engineer. An example of this situation might include if a building has been damaged by a fire and is in danger of collapse.

The second circumstance in which demolition of a contributing building may be approved is when there is exceptional practical difficulty or undue hardship on a property owner. If the hardship is economic, then sufficient documentation, as outlined on application form, should be provided. An example of this situation might include if a building is in such poor and uninhabitable condition that the amount of funding necessary to rehabilitate the building would far exceed any economic return a property owner might expect for any legal use. The hardship should not be of the property owner's own making. Thus, in this example, if the property owner has neglected to perform regular maintenance on the building and has allowed it to deteriorate, the hardship provision cannot be utilized to justify demolition.

Historic buildings should not be demolished for speculative reasons or in order to make land more valuable. Vacant lots are often unmaintained, overgrown, and not conducive to pedestrian and economic activity. Therefore, historic buildings should not be demolished unless a COA has been issued for new development on the original lot.

A decision by the commission approving or denying a certificate of appropriateness for the demolition of buildings, structures, sites, trees judged to be 50 years old or older, or objects shall be guided by:

- *The historic, scenic or architectural significance of the building, structure, site, tree or object.*
- *The importance of the building, structure, site, tree, or object to the ambiance of a district.*
- *The difficulty or the impossibility of reproducing such a building, structure, site, tree, or object because of its design, texture, material, detail, or unique location.*
- *Whether the building, structure, site, tree, or object is one of the last remaining examples of its kind in the neighborhood or the city.*
- *Whether there are definite plans for use of the property if the proposed demolition is carried out, and*



- what the effect of those plans on the character of the surrounding area would be.*
- *Whether reasonable measures can be taken to save the building, structure, site, tree, or object from collapse.*
- *Whether the building, structure, site, tree, or object is capable of earning reasonable economic return on its value.*

Relocation

Relocating historic buildings destroys the context in which a building is located and therefore should only be utilized as a method of last resort in order to save a building. The new location should be in as close proximity as possible to the original location. The orientation on the building on the new lot should be as similar as possible to the original. Permissive neglect does not justify relocation.

Historic buildings should not be relocated for speculative reasons or in order to make land more valuable. Vacant lots are often unmaintained, overgrown, and not conducive to pedestrian and economic activity. Therefore, historic buildings should not be relocated unless a COA has been issued for new development on the original lot.

A decision by the commission approving or denying a certificate of appropriateness for the relocation of a building, structure, or object shall be guided by:

- *The historic character and aesthetic interest the building, structure or object contributes to its present setting.*
- *Whether there are definite plans for the area to be vacated and what the effect of those plans on the character of the surrounding area will be.*
- *Whether the building, structure or object can be moved without significant damage to its physical integrity.*
- *Whether the proposed relocation area is compatible with the historical and architectural character of the building, structure, site or object.*

Neglect



The failure to perform regular maintenance and repairs on buildings creates visual blight, reduces property values, and damages the historic integrity of the District. All properties, whether vacant or occupied, should be maintained in accordance with the International Property Maintenance Code and other relevant codes adopted by the City of Thomson.

Sec. 2-146. - Maintenance of historic properties and building and zoning code provisions.

Ordinary maintenance or repair: Ordinary

maintenance or repair of any exterior architectural or environmental feature in or on a historic property to correct deterioration, decay, or to sustain the existing form, and that does not involve a material change in design, material or outer appearance thereof, does not require a certificate of appropriateness.

Failure to provide ordinary maintenance or repair: Property owners of historic properties or properties within historic districts shall not allow their buildings to deteriorate by failing to provide ordinary maintenance or repair. The commission shall be charged with the following responsibilities regarding deterioration by neglect.

- *The commission shall monitor the condition of historic properties and existing buildings in historic districts to determine if they are being allowed to deteriorate by neglect. Such conditions as broken windows, doors and exterior openings which allow the elements and vermin to enter, or the deterioration of a buildings structural system shall constitute failure to provide ordinary maintenance or repair.*
- *In the event the commission determines a failure to provide ordinary maintenance or repair, the commission will notify the owner of the property and set forth the steps which need to be taken to remedy the situation. The owner of such property will have 90 days in which to do this.*
- *In the event that the condition is not remedied in 90 days, the owner shall be punished as provided in subsection 2-147 of this division and, at the direction of the Thomson City Council, the commission may perform such maintenance or repair as is necessary to prevent deterioration by neglect. The owner of the property shall be liable for the cost of such maintenance and repair performed by the commission.*



A. Secretary of the Interior's Standards for Rehabilitation

The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and interior of the buildings. They also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction.

The treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



B. Preservation Briefs

The National Park Services also publishes Preservation Briefs (available at <https://www.nps.gov/tps/how-to-preserve/briefs.htm>) which provide practical, how-to information about rehabilitating various aspects of historic buildings.

1. Cleaning and Water-Repellent Treatments for Historic Masonry Buildings
2. Repointing Mortar Joints in Historic Masonry Buildings
3. Improving Energy Efficiency in Historic Buildings
4. Roofing for Historic Buildings
5. The Preservation of Historic Adobe Buildings
6. Dangers of Abrasive Cleaning to Historic Buildings
7. The Preservation of Historic Glazed Architectural Terra-Cotta
8. Aluminum and Vinyl Siding on Historic Buildings: The Appropriateness of Substitute Materials for Resurfacing Historic Wood Frame Buildings
9. The Repair of Historic Wooden Windows
10. Exterior Paint Problems on Historic Woodwork
11. Rehabilitating Historic Storefronts
12. The Preservation of Historic Pigmented Structural Glass (Vitrolite and Carrara Glass)
13. The Repair and Thermal Upgrading of Historic Steel Windows
14. New Exterior Additions to Historic Buildings: Preservation Concerns
15. Preservation of Historic Concrete
16. The Use of Substitute Materials on Historic Building Exteriors
17. Architectural Character—Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving their Character
18. Rehabilitating Interiors in Historic Buildings—Identifying Character-Defining Elements
19. The Repair and Replacement of Historic Wooden Shingle Roofs
20. The Preservation of Historic Barns
21. Repairing Historic Flat Plaster—Walls and Ceilings
22. The Preservation and Repair of Historic Stucco
23. Preserving Historic Ornamental Plaster
24. Heating, Ventilating, and Cooling Historic Buildings: Problems and Recommended Approaches
25. The Preservation of Historic Signs
26. The Preservation and Repair of Historic Log Buildings
27. The Maintenance and Repair of Architectural Cast Iron
28. Painting Historic Interiors
29. The Repair, Replacement, and Maintenance of Historic Slate Roofs
30. The Preservation and Repair of Historic Clay Tile Roofs
31. Mothballing Historic Buildings
32. Making Historic Properties Accessible
33. The Preservation and Repair of Historic Stained and Leaded Glass
34. Applied Decoration for Historic Interiors: Preserving Historic Composition Ornament
35. Understanding Old Buildings: The Process of Architectural Investigation
36. Protecting Cultural Landscapes: Planning, Treatment and Management of Historic Landscapes
37. Appropriate Methods of Reducing Lead-Paint Hazards in Historic Housing
38. Removing Graffiti from Historic Masonry
39. Holding the Line: Controlling Unwanted Moisture in Historic Buildings

40. Preserving Historic Ceramic Tile Floors
41. The Seismic Rehabilitation of Historic Buildings
42. The Maintenance, Repair and Replacement of Historic Cast Stone
43. The Preparation and Use of Historic Structure Reports
44. The Use of Awnings on Historic Buildings: Repair, Replacement and New Design
45. Preserving Historic Wooden Porches
46. The Preservation and Reuse of Historic Gas Stations
47. Maintaining the Exterior of Small and Medium Size Historic Buildings
48. Preserving Grave Markers in Historic Cemeteries
49. Historic Decorative Metal Ceilings and Walls: Use, Repair, and Replacement
50. Lightning Protection for Historic



C. Financial Incentives

Federal Grants <https://www.grants.gov>

Georgia Department of Economic Development <https://www.dca.ga.gov>

Georgia Humanities Council <http://georgiahumanities.org/grants>

Georgia Trust for Historic Preservation Callahan Grant

<https://www.georgiatrust.org/resources/grants-fellowships/>

Historic Landscape and Garden Grant Program <http://gardenclub.uga.edu/gardengrant.html>

Historic Preservation Division Grants <https://georgiashpo.org/tax-grants>

National Trust for Historic Preservation <https://savingplaces.org/grants>

D. Thomson Historic District Quick Reference Guide

What is design review?

Design review is the evaluation of any proposed exterior work to a property within the Thomson Historic District to ensure it is consistent with the standards and guidelines adopted for the District.

Which properties require design review?

All properties within the Thomson Historic District require design review.

What work requires design review?

All work involving a change to the exterior requires design review. This includes alterations to existing buildings, additions, new construction, relocation, and demolition. Interior alterations and ordinary maintenance do not require design review.

What is a Certificate of Appropriateness (COA)?

A COA is the approval document certifying that a proposed project is consistent with the historic district design standards and guidelines. An applicant must apply for a COA prior to beginning a project. The Historic Preservation Commission or Planning and Zoning Staff will review the project and determine if it meets the standards. If the standards are met, a COA is issued. After a COA is issued, the applicant may then apply for a building permit.

What happens if work begins before a COA is issued?

If work begins prior to approval of a COA, a stop work order may be issued with the property owner subject to either fines or an order to restore the condition of the property.

Where can assistance be found?

The Thomson Historic District standards and design guidelines are useful for project planning; Planning and Zoning Staff may also be able to assist with project planning.

Are there any other review procedures?

Review of projects by the HPC may not be the only review required before work may proceed. Other city departments and boards may be required to examine a project for compliance with: land use and zoning regulations, building and fire codes, sign ordinances, and, tree and landscape ordinances. Planning and Zoning Staff can assist with this determination.

E. Inventory of Contributing Resources

| Thomson Historic District Contributing Buildings List | | | | | | | | | |
|---|-------------|---------|--------------------|-------------|-------------------------------|-------------------|-------------------------|---------------------------------|--------------|
| Map # | Parcel # | House # | Street Name | Street Type | Year Built (ca. if estimated) | Resource Class | Originality Residential | Notes | Current Use |
| 1 | 410062 | 703 | AUGUSTA | RD | | Unevaluated | | | Commercial |
| 2 | 00410062A00 | 0 | AUGUSTA | RD | | Vacant | | | Vacant |
| 3 | 00410062B00 | 725 | AUGUSTA | RD | | Unevaluated | | | Commercial |
| 4 | 410067 | 767 | AUGUSTA | RD | | Unevaluated | | | Commercial |
| 5 | 0T250021H00 | 0 | HERITAGE | WAY | | Vacant | | | Vacant |
| 6 | 00300050IC2 | 0 | LEE | ST | | Vacant | | | Vacant |
| 7 | 00410003C00 | 0 | COBBHAM | RD | | Vacant | | | Vacant |
| 8 | 410060 | 0 | AUGUSTA | RD | | Unevaluated | | | Commercial |
| 9 | 410061 | 685 | AUGUSTA | RD | | Unevaluated | | | Commercial |
| 10 | 410068 | 791 | AUGUSTA | RD | c1970 | Non-Contributing | Y | | Commercial |
| 11 | 410069 | 811 | AUGUSTA | RD | | Unevaluated | | | Civic |
| 12 | 0T220088 | 221 | GORDON | ST | 1950 | Non-Contributing | | | Residential |
| 13 | 0T220089 | 225 | GORDON | ST | 1951 | Non-Contributing | | | Residential |
| 14 | 00400089B00 | 0 | COBBHAM | RD | | Vacant | | | Vacant |
| 15 | 400090 | 751 | COBBHAM | RD | | Unevaluated | | | Commercial |
| 16 | 400091 | 735 | COBBHAM | RD | | Unevaluated | | | Commercial |
| 17 | 00410003A00 | 0 | HARRISON & COBBHAM | RD | | Vacant | | | Vacant |
| 18 | 00410003B00 | 0 | COBBHAM | RD | | Vacant | | | Vacant |
| 19 | 00410007B00 | 622 | MAIN | ST | | Unevaluated | | | Commercial |
| 20 | 00310054F00 | 0 | WARRENTON | HWY | | Vacant | | | Vacant |
| 21 | 00310054G00 | 0 | ANSLEY | DR | | Vacant | | | Vacant |
| 22 | 00310054H00 | 1020 | W HILL | ST | | Unevaluated | | | Commercial |
| 23 | 00310054C00 | 0 | WARRENTON | HWY | | Vacant | | | Vacant |
| 24 | 0T31A001 | 0 | GREENWAY | ST | | Unevaluated | | | Commercial |
| 25 | 0T140039 | 310 | LEE | ST | 1903 | Contributing | | | Residential |
| 26 | 0T140040 | 0 | NEAL | ST | 1900 | Non-Contributing | | Historic barn- very dilapidated | Vacant |
| 27 | 0T140060 | 308 | W HALL | ST | 1921 | Contributing | | | Residential |
| 28 | 0T140061 | 312 | W HALL | ST | 1939 | Contributing | | | Residential |
| 29 | 0T140062 | 316 | W HALL | ST | 1900 | Contributing | | Tax assessor photo | Residential |
| 30 | 0T240049 | 344 | E HILL | ST | | Unevaluated | | | Commercial |
| 31 | 0T240049A00 | 212 | E HILL | ST | | Unevaluated | | | Commercial |
| 32 | 0T220089A00 | 341 | CLEVELAND | ST | 2013 | Non-Contributing | | | Residential |
| 33 | 0T230168 | 327 | CLEVELAND | ST | 1945 | Contributing | | | Residential |
| 34 | 0T230168B00 | 321 | CLEVELAND | ST | 2001 | Non-Contributing | | | Residential |
| 35 | 0T230168C00 | 323 | CLEVELAND | ST | 1999 | Non-Contributing | | | Residential |
| 36 | 4.00E+05 | 877 | COBBHAM | RD | 2006 | Unevaluated | | | Multi-Family |
| 37 | 400089 | 799 | COBBHAM | RD | 1998 | Unevaluated | | | Commercial |
| 38 | 00400089A00 | 0 | COBBHAM | RD | | Vacant | | | Vacant |
| 39 | 410001 | 0 | COBBHAM | RD | | Vacant | | | Vacant |
| 40 | 410002 | 667 | COBBHAM | RD | | Unevaluated | | | Commercial |
| 41 | 410009 | 639 | COBBHAM | RD | | Unevaluated | | | Commercial |
| 42 | 410018 | 711 | COBBHAM | RD | | Unevaluated | | | Commercial |
| 43 | 420001 | 885 | AUGUSTA | RD | | Unevaluated | | | Commercial |
| 44 | 00420001A00 | 0 | AUGUSTA | RD | | Unevaluated | | | Commercial |
| 45 | 00420011C00 | 0 | AUGUSTA | RD | | Vacant | | | Vacant |
| 46 | 420002 | 925 | AUGUSTA | RD | | Unevaluated | | | Commercial |
| 47 | 420003 | 943 | AUGUSTA | RD | | Unevaluated | | | Commercial |
| 48 | 420004 | 955 | AUGUSTA | HWY | | Unevaluated | | | Commercial |
| 49 | 0T030007 | 314 | CAMELLIA | DR | c1950 | Contributing* | | | Residential |
| 50 | 0T030008 | 318 | CAMELLIA | DR | 1949 | Contributing* | | | Residential |
| 51 | 0T030009 | 324 | CAMELLIA | DR | c1950 | Contributing* | | | Residential |
| 52 | 0T030010 | 328 | CAMELLIA | DR | c1960 | Contributing* | | | Residential |
| 53 | 0T040003 | 324 | LUMPKIN | ST | 1980 | Non-Contributing | | | Residential |
| 54 | 0T040004 | 0 | LEE | ST | | Vacant | | | Vacant |
| 55 | 0T040004A00 | 410 | LEE | ST | 1961 | Contributing* | | | Residential |
| 56 | 0T040005 | 416 | LEE | ST | 1954 | Contributing* | | | Residential |
| 57 | 0T040006 | 424 | LEE | ST | 1960 | Contributing* | | | Residential |
| 58 | 0T030001 | 327 | CAMELLIA | DR | 1949 | Contributing* | | | Residential |
| 59 | 0T030002 | 319 | CAMELLIA | DR | c1950 | Contributing* | | | Residential |
| 60 | 0T030004 | 306 | CAMELLIA | DR | c1950 | Contributing* | | | Residential |
| 61 | 0T030005 | 310 | CAMELLIA | DR | 1950 | Contributing* | | ADU in back | Residential |
| 62 | 0T030006 | 312 | CAMELLIA | DR | c1960 | Contributing* | | | Residential |
| 63 | 0T030011 | 502 | LEE | ST | c1960 | Contributing* | | | Residential |
| 64 | 0T030012 | 510 | LEE | ST | 1960 | Contributing* | | | Residential |
| 65 | 0T030013 | 514 | N LEE | ST | 2008 | Non-Contributing* | | | Residential |
| 66 | 0T030014 | 518 | LEE | ST | 1958 | Contributing* | | | Residential |
| 67 | 0T030015 | 327 | MAGNOLIA | DR | 1959 | Contributing* | | | Residential |
| 68 | 0T030016 | 323 | MAGNOLIA | DR | c1960 | Contributing* | | | Residential |
| 69 | 0T030017 | 321 | MAGNOLIA | DR | c1960 | Contributing* | | | Residential |
| 70 | 0T030018 | 315 | MAGNOLIA | DR | c1960 | Contributing* | | | Residential |
| 71 | 0T030019 | 311 | MAGNOLIA | DR | c1960 | Contributing* | | | Residential |
| 72 | 0T030020 | 308 | MAGNOLIA | DR | c1960 | Contributing* | | | Residential |
| 73 | 0T030021 | 312 | MAGNOLIA | DR | c1960 | Contributing* | | | Residential |

Thomson Residential Design Guidelines



| | | | | | | | | | |
|-----|-------------|-----|--------------|-----|-------|-------------------|---|--|--------------|
| 74 | 0T040012 | 0 | THOMAS | AVE | 1950 | Vacant | | Unless this has been torn down, it's not vacant. No pic in tax assessor, looks older. No photo- need to evaluate | Vacant |
| 75 | 0T040013 | 306 | THOMAS | AVE | 1961 | Non-Contributing | | | Residential |
| 76 | 0T040047 | 305 | THOMAS | AVE | 1955 | Non-Contributing | | No photo | Residential |
| 77 | 0T040049 | 524 | LUMPKIN | ST | c1920 | Non-Contributing | | Photo from tax assessor- appears very altered | Residential |
| 78 | 0T040050 | 521 | LUMPKIN | ST | 1959 | Non-Contributing | | No photo | Residential |
| 79 | 0T040051 | 0 | LUMPKIN | ST | | Vacant | | | Vacant |
| 80 | 0T040052 | 0 | LUMPKIN | ST | | Vacant | | | Vacant |
| 81 | 0T040053 | 511 | LUMPKIN | ST | 2005 | Non-Contributing | | No photo | Residential |
| 82 | 0T040054 | 0 | LUMPKIN | ST | | Vacant | | | Vacant |
| 83 | 0T040055 | 0 | BOYD | AVE | | Vacant | | | Vacant |
| 84 | 0T040056 | 0 | LUMPKIN | ST | | Vacant | | | Vacant |
| 85 | 0T040057 | 0 | LEE | ST | | Vacant | | | Vacant |
| 86 | 0T040058 | 315 | LEE | ST | 1918 | Contributing | | | Residential |
| 87 | 0T280007 | 696 | COBBHAM | RD | 1969 | Non-Contributing | | | Residential |
| 88 | 0T280008 | 730 | COBBHAM | RD | | Vacant | | | Vacant |
| 89 | 0T240051 | 0 | HENDRICKS | ST | | Vacant | | | Vacant |
| 90 | 0T240052 | 0 | BLACK | ST | | Vacant | | | Vacant |
| 91 | 0T240053 | 207 | BLACK | ST | | Unevaluated | | | Commercial |
| 92 | 0T240054 | 0 | BLACK | ST | | Vacant | | | Vacant |
| 93 | 0T240055 | 0 | BLACK | ST | | Unevaluated | | | Commercial |
| 94 | 0T240056 | 146 | E HILL | ST | | Unevaluated | | | Commercial |
| 95 | 0T240057 | 118 | E HILL | ST | | Unevaluated | | | Commercial |
| 96 | 0T240058 | 102 | E HILL | ST | | Unevaluated | | | Commercial |
| 97 | 0T240059 | 244 | JACKSON | ST | 1901 | Contributing | Y | | Residential |
| 98 | 0T240060 | 107 | GIBSON | ST | c1920 | Contributing | | Some loss of integrity | Residential |
| 99 | 0T240061 | 0 | JACKSON | ST | | Vacant | | | Vacant |
| 100 | 0T240062 | 218 | JACKSON | ST | c1910 | Contributing | Y | Two originally SF homes (could be Contributing) now apartments with new build in between | Multi-family |
| 101 | 0T240064 | 106 | GEORGIA | AVE | | Unevaluated | | | Commercial |
| 102 | 0T240065 | 119 | GEORGIA | AVE | 1947 | Non-Contributing | | Altered | Residential |
| 103 | 0T240066 | 106 | GEORGIA | AVE | | Unevaluated | | | Commercial |
| 104 | 0T240068 | 120 | JACKSON | ST | | Unevaluated | | | Commercial |
| 105 | 0T240070 | 124 | HENDRICKS | ST | | Unevaluated | | | Commercial |
| 106 | 0T030022 | 316 | MAGNOLIA | DR | 1962 | Contributing* | | | Residential |
| 107 | 0T030023 | 320 | MAGNOLIA | DR | 1964 | Contributing* | | | Residential |
| 108 | 0T030024 | 326 | MAGNOLIA | DR | 1960 | Contributing* | | | Residential |
| 109 | 0T030025 | 538 | LEE | ST | 1968 | Contributing* | | | Residential |
| 110 | 0T240049B00 | 300 | E HILL | ST | | Unevaluated | | | Commercial |
| 111 | 0T240049C00 | 326 | E HILL | ST | | Unevaluated | | | Commercial |
| 112 | 0T240049D00 | 220 | BLACK | ST | | Unevaluated | | | Commercial |
| 113 | 0T240049E00 | 104 | BLACK | ST | | Unevaluated | | | Commercial |
| 114 | 0T250021A00 | 0 | HERITAGE | WAY | | Vacant | | | Vacant |
| 115 | 0T250021B00 | 0 | HERITAGE | WAY | | Vacant | | | Vacant |
| 116 | 0T040001 | 318 | TOM WATSON | WAY | 1945 | Contributing | | | Residential |
| 117 | 0T040002 | 322 | TOM WATSON | WAY | 1900 | Contributing | | | Residential |
| 118 | 0T040024 | 501 | HICKORY HILL | DR | 1939 | Contributing | | | Residential |
| 119 | 0T250021C00 | 3 | HERITAGE | WAY | 2002 | Non-Contributing | | | Residential |
| 120 | 0T250021D00 | 0 | HERITAGE | WAY | | Vacant | | | Vacant |
| 121 | 0T250021E00 | 0 | HERITAGE | WAY | | Vacant | | | Vacant |
| 122 | 0T250021F00 | 0 | HERITAGE | WAY | | Vacant | | | Vacant |
| 123 | 0T250021G00 | 0 | HERITAGE | WAY | | Vacant | | | Vacant |
| 124 | 0T250025 | 441 | JACKSON | ST | | Unevaluated | | | Commercial |
| 125 | 0T030026 | 542 | LEE | ST | 1965 | Contributing* | | | Residential |
| 126 | 0T030027 | 606 | LEE | ST | c1965 | Contributing* | | | Residential |
| 127 | 0T030028 | 614 | N LEE | ST | 1958 | Contributing* | | | Residential |
| 128 | 0T030029 | 618 | LEE | ST | 1971 | Non-Contributing* | | | Residential |
| 129 | 0T040007 | 331 | CAMELLIA | DR | 1953 | Contributing* | | | Residential |
| 130 | 0T040008 | 329 | CAMELLIA | DR | 1960 | Contributing* | | | Residential |
| 131 | 0T040010 | 409 | CAMELLIA | CT | c1950 | Contributing* | | | Residential |
| 132 | 0T040011 | 295 | HICKORY HILL | DR | 1990 | Non-Contributing | | | Residential |
| 133 | 0T060001 | 538 | W HILL | ST | | Unevaluated | | | Commercial |
| 134 | 0T060002 | 540 | W HILL | ST | | Unevaluated | | | Commercial |
| 135 | 0T060004 | 544 | W HILL | ST | | Unevaluated | | | Commercial |
| 136 | 0T060005 | 0 | W HILL | ST | | Vacant | | | Vacant |
| 137 | 0T040021 | 515 | HICKORY HILL | DR | 1950 | Non-Contributing | | | Residential |
| 138 | 0T040022 | 511 | HICKORY HILL | DR | 1938 | Contributing | | | Residential |
| 139 | 0T040023 | 507 | HICKORY HILL | DR | 1938 | Contributing | | No photograph | Residential |
| 140 | 0T040037 | 306 | GRIER | CIR | 1964 | Non-Contributing | | Photo from tax assessor | Residential |
| 141 | 0T040059 | 309 | LEE | ST | 1920 | Contributing | | | Residential |
| 142 | 0T040060 | 410 | WESTVIEW | DR | 1945 | Non-Contributing | | Altered | Residential |
| 143 | 0T040061 | 414 | WESTVIEW | DR | 1940 | Contributing | | | Residential |
| 144 | 0T040062 | 420 | WESTVIEW | DR | 1944 | Non-Contributing | | Altered | Residential |
| 145 | 0T040063 | 424 | WESTVIEW | DR | 1970 | Non-Contributing | | | Residential |
| 146 | 0T040064 | 0 | WESTVIEW | DR | 1950 | Non-Contributing | | Tax assessor pic | Residential |
| 147 | 0T040065 | 512 | WESTVIEW | DR | 1920 | Contributing | | | Residential |
| 148 | 0T040066 | 516 | WESTVIEW | DR | c1940 | Contributing | | Altered, difficult to date | Residential |
| 149 | 0T040067 | 220 | BOYD | AVE | 1993 | Non-Contributing | | No photo | Residential |
| 150 | 0T040069 | 417 | WESTVIEW | DR | 1947 | Contributing | | | Residential |
| 151 | 0T040071 | 407 | WESTVIEW | DR | c1950 | Non-Contributing | | | Residential |



| | | | | | | | | | |
|-----|-------------|------|-------------|-----|-------|-------------------|-------------------------|---------------------------|-------------|
| 152 | 0T040072 | 305 | LEE | ST | c1970 | Non-Contributing | | | Residential |
| 153 | 0T050001 | 707 | LUMPKIN | ST | 1959 | Non-Contributing | No photo | | Residential |
| 154 | 0T050002 | 701 | LUMPKIN | ST | 1903 | Contributing | Photo from tax assessor | | Residential |
| 155 | 0T050002B00 | 0 | LUMPKIN | ST | | Vacant | | | Vacant |
| 156 | 0T050003 | 0 | WESTVIEW | DR | | Vacant | Cemetery | | Vacant |
| 157 | 0T050004 | 0 | WESTVIEW | DR | | Vacant | Cemetery | | Vacant |
| 158 | 0T050005 | 200 | BOYD | AVE | 1984 | Non-Contributing | mobile home | | Residential |
| 159 | 0T050006 | 204 | BOYD | AVE | c1980 | Non-Contributing | Mobile home | | Residential |
| 160 | 0T050007 | 0 | BOYD | DR | | Vacant | | | Vacant |
| 161 | 0T060011 | 308 | MT PLEASANT | RD | | Unevaluated | | | Commercial |
| 162 | 0T060012 | 0 | W HILL | ST | | Vacant | | | Vacant |
| 163 | 0T060012A00 | 549 | W HILL | ST | | Unevaluated | | | Commercial |
| 164 | 0T060013 | 0 | W HILL | ST | | Vacant | | | Vacant |
| 165 | 0T110003 | 668 | MAIN | ST | | Unevaluated | | | Commercial |
| 166 | 0T140047 | 315 | CHURCH | ST | 1945 | Contributing | Y | Office | Commercial |
| 167 | 0T140048 | 307 | CHURCH | ST | c1950 | Non-Contributing | 2 identical duplexes | | Residential |
| 168 | 0T140048A00 | 311 | CHURCH | ST | c1950 | Non-Contributing | | | Residential |
| 169 | 0T140049 | 105 | MCDUFFIE | AVE | 0 | Unevaluated | | Old Jail | Civic |
| 170 | 0T140050 | 0 | MCDUFFIE | AVE | | Vacant | | | Vacant |
| 171 | 0T140051 | 309 | MAIN | ST | 0 | Unevaluated | | Police department | Civic |
| 172 | 0T140052 | 0 | W HALL | ST | | Vacant | | | Vacant |
| 173 | 0T140053 | 206 | W HALL | ST | | Vacant | | | Vacant |
| 174 | 0T140054 | 208 | W HALL | ST | 1869 | Contributing | | | Residential |
| 175 | 0T110005 | 674 | MAIN | ST | | Vacant | | | Commercial |
| 176 | 0T110005A00 | 672 | WASHINGTON | RD | | Vacant | | | Commercial |
| 177 | 0T110005B00 | 1052 | WASHINGTON | RD | | Vacant | | | Commercial |
| 178 | 0T150018 | 242 | FIRST | AVE | c1930 | Contributing | | Tax assessor photo | Residential |
| 179 | 0T150019 | 248 | FIRST | AVE | c1960 | Non-Contributing | | Altered | Residential |
| 180 | 0T150020 | 107 | GRADY | ST | c1920 | Contributing | | | Residential |
| 181 | 0T150021 | 114 | LEE | ST | c1920 | Contributing | | | Residential |
| 182 | 0T150022 | 116 | LEE | ST | c1930 | Contributing | | | Residential |
| 183 | 0T150023 | 120 | LEE | ST | c1945 | Contributing | | | Residential |
| 184 | 0T150033 | 112 | GRADY | ST | c1930 | Contributing | | | Residential |
| 185 | 0T150034 | 225 | MILLEDGE | ST | 1904 | Contributing | | | Residential |
| 186 | 0T150035 | 221 | MILLEDGE | ST | c1920 | Contributing | | | Residential |
| 187 | 0T150036 | 219 | MILLEDGE | ST | c1920 | Contributing | | | Residential |
| 188 | 0T150037 | 211 | MILLEDGE | ST | 1830 | Contributing | | Usry House, marker | Residential |
| 189 | 0T150038 | 0 | MILLEDGE | ST | | Vacant | | Appears to be vacant | Vacant |
| 190 | 0T150040 | 219 | W HENDRICKS | ST | | Unevaluated | | | Commercial |
| 191 | 0T150041 | 101 | CHURCH | ST | | Unevaluated | | | Commercial |
| 192 | 0T150042 | 0 | HENDRICKS | ST | | Vacant | | | Vacant |
| 193 | 0T150043 | 191 | W HENDRICKS | ST | | Unevaluated | | | Commercial |
| 194 | 0T150044 | 0 | W HENDRICKS | ST | | Vacant | | | Vacant |
| 195 | 0T150045 | 111 | JACKSON | ST | | Unevaluated | | | Commercial |
| 196 | 0T130015 | 512 | MLK JR | ST | | Vacant | | | Vacant |
| 197 | 0T130016 | 523 | MLK JR | ST | | Unevaluated | | Church | Church |
| 198 | 0T130017 | 602 | MAIN | ST | | Unevaluated | | Ball field/stadium | Civic |
| 199 | 0T130018 | 609 | MAIN | ST | | Vacant | | | Vacant |
| 200 | 0T130019 | 0 | MAIN | ST | | Unevaluated | | | Civic |
| 201 | 0T130020 | 617 | MAIN | ST | 1937 | Non-Contributing | | altered | Residential |
| 202 | 0T130021A00 | 0 | LESLIE | ST | | Vacant | | | Vacant |
| 203 | 0T150027 | 303 | MILLEDGE | ST | 1905 | Contributing | | | Residential |
| 204 | 0T150028 | 115 | GRADY | ST | 1966 | Non-Contributing | | | Residential |
| 205 | 0T150029 | 113 | GRADY | ST | c1945 | Non-Contributing | | | Residential |
| 206 | 0T150030 | 236 | VICTORY | SQ | | Vacant | | | Vacant |
| 207 | 0T150031 | 242 | VICTORY | SQ | 1944 | Non-Contributing | | Could be a little earlier | Residential |
| 208 | 0T150032 | 110 | GRADY | ST | c1960 | Non-Contributing | | | Residential |
| 209 | 0T140041 | 0 | NEAL | ST | | Vacant | | | Vacant |
| 210 | 0T140042 | 0 | NEAL | ST | | Vacant | | | Vacant |
| 211 | 0T140043 | 301 | NEAL | ST | 1939 | Contributing | | | Residential |
| 212 | 0T140044 | 217 | NEAL | ST | 1956 | Non-Contributing | | | Residential |
| 213 | 0T140045 | 215 | NEAL | ST | c1930 | Contributing | | | Residential |
| 214 | 0T140046 | 209 | NEAL | ST | 1948 | Non-Contributing | | | Residential |
| 215 | 0T140078 | 211 | W HALL | ST | c1930 | Contributing | | | Residential |
| 216 | 0T110019 | 1043 | WASHINGTON | RD | | Unevaluated | | | Commercial |
| 217 | 0T140037 | 316 | LEE | ST | c1930 | Contributing | | | Residential |
| 218 | 0T140040A00 | 0 | S/S NEAL | ST | | Vacant | | | Vacant |
| 219 | 0T140016 | 0 | BETHANY | DR | | Vacant | | | Vacant |
| 220 | 0T140017 | 313 | ROSE | LN | c1950 | Contributing* | | | Residential |
| 221 | 0T140018 | 309 | ROSE | LN | c1950 | Contributing* | | | Residential |
| 222 | 0T140019 | 305 | ROSE | LN | c1950 | Contributing* | | | Residential |
| 223 | 0T140020 | 301 | ROSE | LN | c1950 | Contributing* | | | Residential |
| 224 | 0T140021 | 419 | BETHANY | DR | 1978 | Non-Contributing* | | | Residential |
| 225 | 0T140022 | 415 | BETHANY | DR | c1950 | Contributing* | | Duplex | Residential |
| 226 | 0T140105A00 | 0 | MAIN | ST | | Vacant | | | Vacant |
| 227 | 0T140106 | 0 | WHITTEOAK | ST | | Vacant | | | Vacant |
| 228 | 0T140107 | 110 | WHITTEOAK | ST | 1920 | Non-Contributing | | Large Addition | Residential |
| 229 | 0T140108 | 0 | WHITTEOAK | ST | | Vacant | | | Vacant |
| 230 | 0T140109 | 222 | MAIN | ST | 1960 | Non-Contributing | Y | Two buildings | Commercial |
| 231 | 0T140110 | 305 | MAIN | ST | 1933 | Unevaluated | | | Commercial |
| 232 | 0T140111 | 0 | COBB | ST | | Vacant | | | Vacant |
| 233 | 0T140112 | 109 | COBB | ST | c1910 | Contributing | | | Residential |
| 234 | 0T140113 | 115 | COBB | ST | c1930 | Contributing | | | Residential |
| 235 | 0T140114 | 104 | COBB | ST | 1980 | Unevaluated | | | Commercial |
| 236 | 0T140115 | 0 | MAIN | ST | | Vacant | | | Vacant |
| 237 | 0T140116 | 234 | MAIN | ST | 1920 | Contributing | Y | | Commercial |



| | | | | | | | | | |
|-----|-------------|-----|-------------|-----|-------|------------------|---|--------------------------------|--------------|
| 238 | OT140117 | 107 | E HALL | ST | c1920 | Contributing | | | Residential |
| 239 | OT140118 | 109 | E HALL | ST | 1946 | Contributing | | | Residential |
| 240 | OT140119 | 111 | E HALL | ST | 1910 | Contributing | | | Residential |
| 241 | OT140120 | 115 | E HALL | ST | 1940 | Non-Contributing | Y | Altered | Commercial |
| 242 | OT140121 | 0 | E HALL | ST | 1940 | Contributing | | | Residential |
| 243 | OT140122 | 0 | GREENWAY | ST | | Vacant | | | Vacant |
| 244 | OT140123 | 114 | E HALL | ST | 1985 | Non-Contributing | | | Residential |
| 245 | OT140124 | 110 | E HALL | ST | 1900 | Contributing | Y | | Commercial |
| 246 | OT140125 | 108 | E HALL | ST | 1953 | Non-Contributing | | | Residential |
| 247 | OT140126 | 106 | E HALL | ST | 1971 | Unevaluated | | | Commercial |
| 248 | OT140127 | 104 | E HALL | ST | 1973 | Unevaluated | | | Commercial |
| 249 | OT140128 | 308 | MAIN | ST | 1900 | Contributing | Y | | Commercial |
| 250 | OT140129 | 316 | MAIN | ST | | Unevaluated | | | Commercial |
| 251 | OT120071 | 0 | DEAN AVE | AVE | | Vacant | | | Vacant |
| 252 | OT120101 | 634 | MAIN | ST | | Unevaluated | | | Commercial |
| 253 | OT120102 | 640 | MAIN | ST | | Unevaluated | | | Commercial |
| 254 | OT120103 | 642 | MAIN | ST | | Unevaluated | | | Commercial |
| 255 | OT120104 | 650 | MAIN | ST | | Unevaluated | | | Commercial |
| 256 | OT120105 | 654 | MAIN | ST | | Unevaluated | | | Commercial |
| 257 | OT120106 | 658 | MAIN | ST | | Unevaluated | | | Commercial |
| 258 | OT120123 | 687 | MAIN | ST | | Unevaluated | | | Commercial |
| 259 | OT120123001 | 651 | MAIN | ST | | Unevaluated | | | Commercial |
| 260 | OT120124 | 647 | MAIN | ST | | Unevaluated | | | Commercial |
| 261 | OT120125 | 643 | MAIN | ST | | Unevaluated | | | Commercial |
| 262 | OT120126 | 0 | MAIN | ST | | Vacant | | | Vacant |
| 263 | OT120127 | 639 | MAIN | ST | | Unevaluated | | | Church |
| 264 | OT120129 | 0 | MCCOMMONS | ST | | Unevaluated | | | Civic |
| 265 | OT120130 | 0 | WASHINGTON | RD | | Unevaluated | | | Civic |
| 266 | OT120131 | 0 | WASHINGTON | RD | | Unevaluated | | | Civic |
| 267 | OT120132 | 228 | MCCOMMONS | ST | | Unevaluated | | | Civic |
| 268 | OT120145 | 179 | CHEROKEE | ST | c1980 | Non-Contributing | | Mobile homes | Residential |
| 269 | OT130001A00 | 514 | PINE | CT | 1988 | Non-Contributing | | | Residential |
| 270 | OT130002 | 504 | MAIN | ST | 1931 | Contributing | | | Residential |
| 271 | OT130003 | 506 | MAIN | ST | 1926 | Non-Contributing | Y | Altered | Commercial |
| 272 | OT130004 | 510 | MAIN | ST | c1930 | Contributing | Y | | Commercial |
| 273 | OT130005 | 516 | MAIN | ST | 1935 | Contributing | Y | | Commercial |
| 274 | OT130006 | 0 | SPRINGFIELD | ST | | Vacant | | | Vacant |
| 275 | OT130007 | 0 | SPRINGFIELD | ST | | Vacant | | | Vacant |
| 276 | OT130008 | 125 | SPRINGFIELD | ST | 1986 | Unevaluated | | | Multi-family |
| 277 | OT130009 | 513 | MLK JR | ST | 1968 | Unevaluated | | | Multi-family |
| 278 | OT130010 | 0 | MLK JR | ST | | Vacant | | | Vacant |
| 279 | OT130011 | 417 | MLK JR | ST | 1946 | Contributing | | | Residential |
| 280 | OT130012 | 0 | MLK JR | ST | | Vacant | | | Vacant |
| 281 | OT130014 | 202 | GORDON | ST | | Unevaluated | | | Commercial |
| 282 | OT130081A00 | 0 | MAIN | ST | | Unevaluated | | School | Civic |
| 283 | OT130084 | 541 | BETHANY | DR | 1949 | Contributing | | | Residential |
| 284 | OT130085 | 535 | BETHANY | DR | c1950 | Contributing | | | Residential |
| 285 | OT130086 | 527 | BETHANY | DR | 1951 | Contributing | | | Residential |
| 286 | OT130087 | 304 | CAMELLIA | DR | 1985 | Non-Contributing | | | Residential |
| 287 | OT130088 | 301 | CAMELLIA | DR | 1945 | Contributing | | | Residential |
| 288 | OT130089 | 509 | BETHANY | DR | c1950 | Contributing | | | Residential |
| 289 | OT130090 | 300 | ROSE | LN | c1950 | Contributing | | | Residential |
| 290 | OT130093 | 313 | CAMELLIA | DR | 1945 | Contributing | | | Residential |
| 291 | OT130094 | 0 | BETHANY | DR | | Unevaluated | | School | Civic |
| 292 | OT130095 | 0 | BETHANY | DR | 0 | Unevaluated | | School | Civic |
| 293 | OT140001 | 337 | MAIN | ST | | Unevaluated | | | Civic |
| 294 | OT140002 | 353 | MAIN | ST | 0 | Unevaluated | | | Church |
| 295 | OT140003 | 346 | MAIN | ST | 1930 | Contributing | Y | | Commercial |
| 296 | OT140004 | 111 | GORDON | ST | 1900 | Contributing | | | Residential |
| 297 | OT140005 | 0 | GORDON | ST | | Vacant | | | Vacant |
| 298 | OT140006 | 115 | GORDON | ST | 1979 | Unevaluated | | | Commercial |
| 299 | OT140006A00 | 0 | GREENWAY | ST | | Vacant | | | Vacant |
| 300 | OT140007 | 118 | GORDON | ST | | Unevaluated | | | Commercial |
| 301 | OT140008 | 108 | GORDON | ST | | Unevaluated | | | Commercial |
| 302 | OT140010 | 404 | MAIN | ST | | Unevaluated | | | Commercial |
| 303 | OT140011 | 406 | MAIN | ST | | Unevaluated | | | Commercial |
| 304 | OT140012 | 407 | MAIN | ST | | Unevaluated | | | Commercial |
| 305 | OT140013 | 353 | MAIN | ST | | Unevaluated | | FIRST UNITED METHODIST | Church |
| 306 | OT140014 | 0 | LUMPKIN | ST | | Vacant | | Cemetery | Vacant |
| 307 | OT140015 | 0 | TOM WATSON | WAY | | Unevaluated | | | Commercial |
| 308 | OT140024 | 310 | TOM WATSON | WAY | c1880 | Contributing | Y | WATSON-BROWN FOUNDATION Museum | Civic |
| 309 | OT140025 | 326 | LEE | ST | 1986 | Non-Contributing | | | Residential |
| 310 | OT140026 | 319 | TOM WATSON | WAY | 1957 | Non-Contributing | | | Residential |
| 311 | OT140027 | 315 | TOM WATSON | WAY | 2007 | Non-Contributing | | | Residential |
| 312 | OT140028 | 309 | TOM WATSON | WAY | 1994 | Non-Contributing | | | Residential |
| 313 | OT140028A00 | 307 | TOM WATSON | WAY | 1993 | Non-Contributing | | | Residential |
| 314 | OT140028B00 | 0 | LUMPKIN | ST | | Vacant | | Storage building on site | Vacant |
| 315 | OT140029 | 303 | TOM WATSON | WAY | 1900 | Contributing | | | Residential |
| 316 | OT140030 | 301 | TOM WATSON | WAY | 1940 | Contributing | | | Residential |
| 317 | OT140031 | 215 | TOM WATSON | WAY | | Vacant | | | Vacant |
| 318 | OT140032 | 0 | PIERCE | AVE | 1945 | Non-Contributing | | Owned by a church | Residential |
| 319 | OT140033 | 305 | PIERCE | AVE | 2002 | Non-Contributing | | | Residential |
| 320 | OT140033A00 | 301 | PIERCE | AVE | 2002 | Non-Contributing | | | Residential |
| 321 | OT140033B00 | 307 | PIERCE | AVE | 2002 | Non-Contributing | | | Residential |

Thomson Residential Design Guidelines



| | | | | | | | | | | |
|-----|-------------|-----|------------------|-----|--|-------|------------------|---|---------------------------------------|--------------|
| 322 | 0T140033C00 | 303 | PIERCE | AVE | | 2002 | Non-Contributing | | No photo | Residential |
| 323 | 0T140034 | 304 | NEAL | ST | | c1960 | Non-Contributing | | Duplex- hard to date | Residential |
| 324 | 0T140035 | 310 | NEAL | ST | | 1962 | Non-Contributing | | No photo | Residential |
| 325 | 0T140036 | 0 | NEAL | ST | | | Vacant | | | Vacant |
| 326 | 0T140023 | 411 | BETHANY | DR | | c1950 | Contributing | | Duplex | Residential |
| 327 | 0T150024 | 311 | MILLEDGE | ST | | 1930 | Contributing | | | Residential |
| 328 | 0T150025 | 307 | MILLEDGE | ST | | 1956 | Non-Contributing | | tax assessor photo | Residential |
| 329 | 0T150026 | 305 | MILLEDGE | ST | | 1935 | Contributing | | | Residential |
| 330 | 0T140055 | 0 | W HALL | ST | | | Vacant | | | Vacant |
| 331 | 0T140056 | 214 | W HALL | ST | | c1930 | Contributing | | | Residential |
| 332 | 0T140057 | 218 | W HALL | ST | | c1920 | Non-Contributing | | Very altered | Residential |
| 333 | 0T140058 | 0 | W HALL | ST | | | Vacant | | | Vacant |
| 334 | 0T140059 | 306 | W HALL | ST | | 1973 | Non-Contributing | | | Residential |
| 335 | 0T140130 | 324 | MAIN | ST | | 1880 | Contributing | | | Residential |
| 336 | 0T140131 | 338 | MAIN | ST | | | Unevaluated | | library | Civic |
| 337 | 0T140132 | 307 | GREENWAY | ST | | 1998 | Unevaluated | | MCDUFFIE CO- HEALTH&HUMAN | Civic |
| 338 | 0T140133 | 0 | GREENWAY | ST | | 1981 | Non-Contributing | | | Residential |
| 339 | 0T140134 | 323 | CHURCH | ST | | 0 | Unevaluated | | | Chuch |
| 340 | 0T150001 | 203 | LEE | ST | | 1909 | Contributing | | May have multiple buildings onsite | Residential |
| 341 | 0T150002 | 131 | LEE | ST | | 1870 | Contributing | | | Residential |
| 342 | 0T140063 | 304 | LEE | ST | | 1950 | Non-Contributing | | | Residential |
| 343 | 0T140064 | 223 | LEE | ST | | 1859 | Contributing | | | Residential |
| 344 | 0T140066 | 217 | LEE | ST | | 1870 | Contributing | | | Residential |
| 345 | 0T140068 | 213 | LEE | ST | | 1907 | Contributing | | | Residential |
| 346 | 0T140069 | 209 | LEE | ST | | 1869 | Contributing | | | Residential |
| 347 | 0T140070 | 202 | LEE | ST | | 1918 | Contributing | | | Residential |
| 348 | 0T140070A00 | 228 | MILLEDGE | ST | | 1990 | Non-Contributing | | | Residential |
| 349 | 0T140071 | 204 | LEE | ST | | 1918 | Contributing | | | Residential |
| 350 | 0T140072 | 210 | LEE | ST | | c1920 | Contributing | | Tax assessor photo | Residential |
| 351 | 0T140073 | 216 | LEE | ST | | 1925 | Contributing | | | Residential |
| 352 | 0T140074 | 220 | LEE | ST | | 1937 | Contributing | | | Residential |
| 353 | 0T140075 | 305 | W HALL | ST | | 1937 | Contributing | | | Residential |
| 354 | 0T140076 | 221 | W HALL | ST | | 1908 | Contributing | | | Residential |
| 355 | 0T140077 | 215 | W HALL | ST | | 1968 | Non-Contributing | | | Residential |
| 356 | 0T140079 | 209 | W HALL | ST | | c1970 | Non-Contributing | | | Residential |
| 357 | 0T140080 | 207 | W HALL | ST | | 1905 | Contributing | | | Residential |
| 358 | 0T140081 | 205 | W HALL | ST | | 1926 | Contributing | | | Residential |
| 359 | 0T140082 | 219 | CHURCH | ST | | c1925 | Contributing | | | Residential |
| 360 | 0T140083 | 217 | CHURCH | ST | | 1930 | Contributing | | | Residential |
| 361 | 0T140084 | 213 | CHURCH | ST | | 1919 | Contributing | | | Residential |
| 362 | 0T140085 | 209 | CHURCH | ST | | 1963 | Non-Contributing | | | Residential |
| 363 | 0T140086 | 203 | 205 CHURCH ST NW | | | c1945 | Contributing | | | Residential |
| 364 | 0T140087 | 0 | CHURCH | ST | | 0 | Vacant | | | Vacant |
| 365 | 0T140088 | 204 | MILLEDGE | ST | | c1960 | Non-Contributing | | | Residential |
| 366 | 0T140089 | 206 | MILLEDGE | ST | | c1960 | Non-Contributing | | | Residential |
| 367 | 0T140090 | 210 | MILLEDGE | ST | | c1980 | Non-Contributing | | | Residential |
| 368 | 0T140091 | 214 | MILLEDGE | ST | | | Vacant | | | Vacant |
| 369 | 0T140092 | 218 | MILLEDGE | ST | | 1987 | Non-Contributing | | | Residential |
| 370 | 0T140093 | 224 | MILLEDGE | ST | | 1940 | Contributing | | | Residential |
| 371 | 0T140094 | 207 | MILLEDGE | ST | | 1999 | Non-Contributing | | | Residential |
| 372 | 0T140094A00 | 185 | CHURCH | ST | | 1999 | Non-Contributing | | | Residential |
| 373 | 0T140094B00 | 187 | CHURCH | ST | | 1999 | Non-Contributing | | | Residential |
| 374 | 0T140094C00 | 209 | MILLEDGE | ST | | 1999 | Non-Contributing | | | Residential |
| 375 | 0T140095 | 216 | FIRST | AVE | | c1960 | Non-Contributing | | | Residential |
| 376 | 0T140095A00 | 210 | FIRST | AVE | | | Unevaluated | | | Commercial |
| 377 | 0T140096 | 200 | CHURCH | ST | | c1920 | Contributing | | abandoned | Residential |
| 378 | 0T140097 | 204 | CHURCH | ST | | c1920 | Contributing | | abandoned | Residential |
| 379 | 0T140098 | 206 | CHURCH | ST | | c1935 | Contributing | | | Residential |
| 380 | 0T140099 | 208 | CHURCH | ST | | 1955 | Non-Contributing | | | Residential |
| 381 | 0T140099A00 | 0 | CHURCH | ST | | | Vacant | | | Vacant |
| 382 | 0T140099B00 | 0 | CHURCH | ST | | | Vacant | | | Vacant |
| 383 | 0T140100 | 227 | MAIN | ST | | | Vacant | | | Vacant |
| 384 | 0T140101 | 235 | MAIN | ST | | | Unevaluated | | Citizens Bank | Commercial |
| 385 | 0T140102 | 219 | MAIN | ST | | 1950 | Unevaluated | | Real estate office | Commercial |
| 386 | 0T140103 | 0 | MAIN | ST | | 1930 | Contributing | Y | 2 buildings | Commercial |
| 387 | 0T140104 | 203 | MAIN | ST | | 1910 | Contributing | Y | | Commercial |
| 388 | 0T140105 | 204 | MAIN | ST | | | Unevaluated | | | Commercial |
| 389 | 0T140129001 | 0 | MAIN | ST | | | Vacant | | | Vacant |
| 390 | 0T150003 | 125 | LEE | ST | | 1963 | Non-Contributing | | | Residential |
| 391 | 0T150004 | 123 | LEE | ST | | c1920 | Contributing | | | Residential |
| 392 | 0T150005 | 115 | LEE | ST | | c1920 | Contributing | | | Residential |
| 393 | 0T150006 | 0 | W HENDRICKS | ST | | | Vacant | | | Vacant |
| 394 | 0T150007 | 107 | 109 LEE ST NW | | | c1940 | Contributing | | | Residential |
| 395 | 0T220124 | 332 | CLEVELAND | ST | | 1966 | Non-Contributing | | | Residential |
| 396 | 0T220076 | 318 | GORDON | ST | | 1950 | Non-Contributing | | | Residential |
| 397 | 0T220076A00 | 322 | GORDON | ST | | 1909 | Contributing | | | Residential |
| 398 | 0T220077 | 316 | GORDON | ST | | 2020 | Non-Contributing | | If older, was completely renovated | Residential |
| 399 | 0T220078 | 0 | GORDON | ST | | | Vacant | | | Vacant |
| 400 | 0T220079 | 306 | GORDON | ST | | 1999 | Non-Contributing | | | Residential |
| 401 | 0T150008 | 103 | GRADY | ST | | 1940 | Unevaluated | | Altered | Multi-family |
| 402 | 0T150009 | 226 | W HENDRICKS | ST | | 1898 | Contributing | | | Residential |
| 403 | 0T150009A00 | 0 | FIRST | AVE | | | Vacant | | | Vacant |
| 404 | 0T150010 | 0 | FIRST | AVE | | | Vacant | | | Vacant |



| | | | | | | | | | |
|-----|-------------|-----|-----------|-----|-------|------------------|---|---|-------------|
| 405 | OT150012 | 117 | FIRST | AVE | | Unevaluated | | Warehouse | Commercial |
| 406 | OT150013 | 113 | FIRST | AVE | | Unevaluated | | | Commercial |
| 407 | OT150014 | 218 | FIRST | AVE | c1980 | Non-Contributing | | Tax assessor photo | Residential |
| 408 | OT150015 | 226 | FIRST | AVE | c1960 | Non-Contributing | | Tax assessor photo | Residential |
| | | | | | | | | Seems to be some confusion- tax assessor photo for this is the same as for #179 | |
| 409 | OT150017 | 234 | FIRST | AVE | c1960 | Non-Contributing | | | Residential |
| 410 | OT150046 | 201 | JACKSON | ST | | Unevaluated | | | Commercial |
| 411 | OT150047 | 0 | CHURCH | ST | | Vacant | | | Vacant |
| 412 | OT150048 | 0 | CHURCH | ST | | Vacant | | | Vacant |
| 413 | OT150050 | 200 | BORDERS | ST | 1950 | Unevaluated | | | Civic |
| 414 | OT150054 | 234 | JOHNSON | AVE | | Unevaluated | | | Civic |
| 415 | OT230154 | 316 | CLEVELAND | ST | 1966 | Non-Contributing | | | Residential |
| 416 | OT230155 | 322 | CLEVELAND | ST | 1966 | Non-Contributing | | | Residential |
| 417 | OT250059 | 614 | ARNALL | ST | 1949 | Non-Contributing | | | Residential |
| 418 | OT250060 | 0 | ARNALL | ST | 0 | Unevaluated | | | Church |
| 419 | OT250074 | 517 | JACKSON | ST | | Unevaluated | | | Commercial |
| 420 | OT250075 | 0 | JACKSON | ST | c1970 | Unevaluated | | | Civic |
| 421 | OT150066 | 0 | NATIONAL | AVE | | Vacant | | | Vacant |
| 422 | OT150066A00 | 350 | NATIONAL | AVE | | Unevaluated | | | Commercial |
| 423 | OT150067 | 210 | W HILL | ST | | Unevaluated | | | Commercial |
| 424 | OT150067A00 | 0 | W HILL | ST | | Vacant | | | |
| 425 | OT150068 | 214 | W HILL | ST | | Unevaluated | | | Commercial |
| 426 | OT150069 | 216 | W HILL | ST | | Unevaluated | | | Commercial |
| 427 | OT150070 | 218 | W HILL | ST | | Unevaluated | | | Commercial |
| 428 | OT150071 | 220 | W HILL | ST | | Unevaluated | | | Commercial |
| 429 | OT150072 | 224 | W HILL | ST | | Unevaluated | | | Commercial |
| 430 | OT150073 | 226 | W HILL | ST | | Unevaluated | | | Commercial |
| 431 | OT150067A00 | 0 | W HILL | ST | | Vacant | | | Vacant |
| 432 | OT150075 | 300 | W HILL | ST | | Unevaluated | | | Commercial |
| 433 | OT150076BL1 | 0 | W HILL | ST | | Unevaluated | | | Commercial |
| 434 | OT150076A00 | 0 | W HILL | ST | | Unevaluated | | | Civic |
| 435 | OT150077 | 510 | W HILL | ST | | Unevaluated | | | Civic |
| 436 | OT150078 | 528 | W HILL | ST | | Unevaluated | | | Commercial |
| 437 | OT150079 | 536 | W HILL | ST | | Unevaluated | | | Commercial |
| 438 | OT150080 | 433 | W HILL | ST | | Unevaluated | | | Commercial |
| 439 | OT150081 | 0 | HOSPITAL | DR | | Vacant | | | Vacant |
| 440 | OT150082 | 312 | HOSPITAL | DR | | Unevaluated | | | Commercial |
| 441 | OT150083 | 431 | W HILL | ST | | Unevaluated | | | Commercial |
| 442 | OT150084 | 415 | W HILL | ST | | Unevaluated | | | Commercial |
| 443 | OT150085 | 409 | W HILL | ST | | Unevaluated | | | Commercial |
| 444 | OT150086 | 333 | W HILL | ST | | Unevaluated | | | Commercial |
| 445 | OT150087 | 318 | W HILL | ST | | Unevaluated | | | Commercial |
| 446 | OT150088 | 301 | W HILL | ST | | Unevaluated | | | Commercial |
| 447 | OT150089 | 229 | W HILL | ST | | Unevaluated | | | Commercial |
| 448 | OT150090 | 225 | W HILL | ST | | Unevaluated | | | Commercial |
| 449 | OT150091 | 211 | W HILL | ST | | Unevaluated | | | Commercial |
| 450 | OT150092 | 0 | W HILL | ST | | Unevaluated | | | Commercial |
| 451 | OT150093 | 311 | JOHNSON | AVE | | Unevaluated | | | Commercial |
| 452 | OT160006 | 311 | FLUKER | ST | | Unevaluated | | | Commercial |
| 453 | OT160007 | 315 | FLUKER | ST | | Unevaluated | | | Commercial |
| 454 | OT160009 | 322 | HOSPITAL | DR | | Unevaluated | | | Commercial |
| 455 | OT160010 | 0 | HOSPITAL | DR | | Unevaluated | | | Commercial |
| 456 | OT160011 | 0 | HOSPITAL | DR | | Unevaluated | | | Commercial |
| 457 | OT220106 | 310 | GORDON | ST | | Vacant | | | Vacant |
| 458 | OT220107 | 511 | ELLINGTON | AVE | 1949 | Non-Contributing | | | Residential |
| 459 | OT220108 | 509 | ELLINGTON | AVE | c1950 | Non-Contributing | | | Residential |
| 460 | OT220109 | 0 | ELLINGTON | AVE | c1950 | Non-Contributing | | | Residential |
| 461 | OT220186A00 | 401 | GORDON | ST | 1960 | Non-Contributing | | | Residential |
| 462 | OT160012 | 521 | W HILL | ST | | Unevaluated | | | Civic |
| 463 | OT160013 | 0 | WARE | ST | | Unevaluated | | | Civic |
| 464 | OT230108 | 310 | WHITEOAK | ST | 1930 | Contributing | | | Residential |
| 465 | OT230109 | 308 | WHITEOAK | ST | c1930 | Contributing | | | Residential |
| 466 | OT230110 | 0 | WHITEOAK | ST | | Vacant | | | Vacant |
| 467 | OT230110A00 | 302 | WHITEOAK | ST | 1950 | Non-Contributing | | | Residential |
| 468 | OT230110B00 | 222 | CLEVELAND | ST | 1940 | Contributing | | | Residential |
| 469 | OT230111 | 220 | WHITEOAK | ST | 1930 | Contributing | | | Residential |
| 470 | OT230112 | 216 | WHITEOAK | ST | 1895 | Contributing | | | Residential |
| 471 | OT230113 | 212 | WHITEOAK | ST | 1920 | Contributing | | | Residential |
| | | | | | | | | Funeral Home- Date in tax assessor may be wrong | |
| 472 | OT210012 | 505 | GORDON | ST | 1860 | Contributing | Y | | Commercial |
| 473 | OT210012B00 | 509 | GORDON | ST | | Vacant | | | Vacant |
| 474 | OT210012C00 | 0 | GORDON | ST | | Vacant | | | Vacant |
| 475 | OT210012D00 | 0 | MENDEL | AVE | | Vacant | | | Vacant |
| 476 | OT210016 | 584 | COBBHAM | RD | 1997 | Unevaluated | | | Commercial |
| 477 | OT210018 | 503 | GORDON | ST | 1962 | Unevaluated | | | Commercial |
| 478 | OT220067 | 352 | GORDON | ST | 1956 | Unevaluated | | | Commercial |
| 479 | OT220068 | 350 | GORDON | ST | | Vacant | | | Vacant |
| 480 | OT220069 | 246 | GORDON | ST | | Vacant | | | Vacant |
| 481 | OT220070 | 342 | GORDON | ST | 1910 | Contributing | | | Residential |
| 482 | OT220071 | 340 | GORDON | ST | 1948 | Contributing | | | Residential |
| 483 | OT220072 | 338 | GORDON | ST | 1947 | Contributing | | | Residential |
| 484 | OT220073 | 334 | GORDON | ST | 1945 | Contributing | | | Residential |
| 485 | OT220074 | 328 | GORDON | ST | 2006 | Non-Contributing | | | Residential |

Thomson Residential Design Guidelines



| | | | | | | | | |
|-----|-------------|-----|-----------|-----|-------|------------------|---|-------------|
| 486 | 0T220075 | 324 | GORDON | ST | c1910 | Contributing | | Residential |
| 487 | 0T220080 | 302 | GORDON | ST | | Vacant | | Vacant |
| 488 | 0T220081 | 228 | GORDON | ST | 1950 | Non-Contributing | | Residential |
| 489 | 0T220082 | 224 | GORDON | ST | 1950 | Non-Contributing | | Residential |
| 490 | 0T220083 | 220 | GORDON | ST | 1900 | Contributing | | Residential |
| 491 | 0T220084 | 214 | GORDON | ST | 1960 | Non-Contributing | | Residential |
| 492 | 0T220085 | 211 | GORDON | ST | 1949 | Non-Contributing | | Residential |
| 493 | 0T220086 | 213 | GORDON | ST | c1910 | Contributing | | Residential |
| 494 | 0T220087 | 217 | GORDON | ST | 1950 | Non-Contributing | | Residential |
| 495 | 0T220090 | 227 | GORDON | ST | 1993 | Non-Contributing | | Residential |
| 496 | 0T220091 | 301 | GORDON | ST | 1925 | Contributing | | Residential |
| 497 | 0T230133 | 310 | CLEVELAND | ST | c1920 | Non-Contributing | Altered | Residential |
| 498 | 0T250117 | 524 | JACKSON | ST | | Unevaluated | | Commercial |
| 499 | 0T250118 | 512 | JACKSON | ST | 1925 | Contributing | | Residential |
| | | | | | | | Duplex may be contributing, barbarshop no | |
| 500 | 0T250119 | 510 | JACKSON | ST | c1920 | Contributing | | Residential |
| 501 | 0T250120 | 0 | JACKSON | ST | | Vacant | | Vacant |
| 502 | 0T250121 | 506 | JACKSON | ST | c1950 | Non-Contributing | | Residential |
| 503 | 0T250122 | 462 | JACKSON | ST | c1950 | Non-Contributing | | Residential |
| 504 | 0T250124 | 458 | JACKSON | ST | c1950 | Non-Contributing | | Residential |
| 505 | 0T250125 | 450 | JACKSON | ST | c1950 | Non-Contributing | | Residential |
| 506 | 0T250126 | 434 | JACKSON | ST | c1950 | Non-Contributing | Altered | Residential |
| 507 | 0T220092 | 305 | GORDON | ST | c1910 | Contributing | | Residential |
| 508 | 0T220093 | 311 | GORDON | ST | c1920 | Contributing | | Residential |
| 509 | 0T220094 | 313 | GORDON | ST | c1910 | Contributing | | Residential |
| 510 | 0T220095 | 407 | PECAN | ALY | 2003 | Non-Contributing | | Residential |
| 511 | 0T220096 | 411 | PECAN | ALY | 2003 | Non-Contributing | | Residential |
| 512 | 0T220098 | 406 | PECAN | ALY | 0 | Non-Contributing | mobile home | Residential |
| 513 | 0T220099 | 317 | GORDON | ST | c1910 | Contributing | | Residential |
| 514 | 0T220100 | 319 | GORDON | ST | 1900 | Non-Contributing | Heavily altered | Residential |
| 515 | 0T220101 | 325 | GORDON | ST | 1885 | Contributing | | Residential |
| 516 | 0T220102 | 329 | GORDON | ST | 1945 | Contributing | | Residential |
| 517 | 0T220103 | 331 | GORDON | ST | 1900 | Contributing | | Residential |
| 518 | 0T220104 | 339 | GORDON | ST | 1947 | Contributing | | Residential |
| 519 | 0T220105 | 345 | GORDON | ST | 1949 | Non-Contributing | Large addition | Residential |
| 520 | 0T220105A00 | 341 | GORDON | ST | 2021 | Non-Contributing | | Residential |
| 521 | 0T230116 | 236 | GREENWAY | ST | c1930 | Contributing | Two buildings | Residential |
| 522 | 0T230116A00 | 204 | COBB | ST | 1880 | Contributing | | Residential |
| 523 | 0T230117 | 0 | GREENWAY | ST | 1940 | Non-Contributing | No photograph | Residential |
| 524 | 0T230118 | 300 | GREENWAY | ST | | Unevaluated | | Civic |
| 525 | 0T230119 | 310 | GREENWAY | ST | | Unevaluated | | Commercial |
| 526 | 0T230120 | 209 | HOLT | ST | | Vacant | | Vacant |
| 527 | 0T240041 | 235 | E HILL | ST | | Unevaluated | | Commercial |
| 528 | 0T240042 | 315 | E HILL | ST | | Unevaluated | | Commercial |
| 529 | 0T240043 | 329 | E HILL | ST | | Unevaluated | | Commercial |
| 530 | 0T240047 | 206 | E HILL | ST | | Unevaluated | | Commercial |
| 531 | 0T240047A00 | 204 | E HILL | ST | | Vacant | | Vacant |
| 532 | 0T240048A00 | 120 | BLACK | ST | | Unevaluated | | Commercial |
| 533 | 0T220187 | 407 | GORDON | ST | 1900 | Non-Contributing | altered | Residential |
| 534 | 0T220188 | 0 | COBBHAM | RD | | Vacant | | Vacant |
| 535 | 0T230001 | 0 | E HALL | ST | 1940 | Contributing | | Residential |
| 536 | 0T230002 | 0 | GREENWAY | ST | c1920 | Contributing | | Residential |
| 537 | 0T230003 | 117 | COBB | ST | c1930 | Contributing | | Residential |
| 538 | 0T230004 | 229 | GREENWAY | ST | 1945 | Contributing | | Residential |
| 539 | 0T230005 | 118 | WHITEOAK | ST | 1900 | Contributing | | Residential |
| 540 | 0T230006 | 113 | WHITEOAK | ST | 1892 | Contributing | | Residential |
| 541 | 0T230007 | 0 | WHITEOAK | ST | | Vacant | | Vacant |
| 542 | 0T230008 | 0 | WHITEOAK | ST | | Vacant | | Vacant |
| 543 | 0T230009 | 119 | WHITEOAK | ST | | Vacant | | Vacant |
| 544 | 0T230010 | 0 | GREENWAY | ST | | Vacant | | Vacant |
| 545 | 0T230012 | 0 | GREENWAY | ST | | Vacant | | Vacant |
| 546 | 0T230013 | 138 | JOURNAL | ST | 1900 | Unevaluated | | Commercial |
| 547 | 0T230014 | 136 | JOURNAL | ST | 1900 | Unevaluated | | Commercial |
| 548 | 0T230015 | 0 | JOURNAL | ST | | Vacant | | Vacant |
| 549 | 0T230017 | 116 | JOURNAL | ST | 1914 | Unevaluated | | Commercial |
| 550 | 0T230019 | 0 | GREENWAY | ST | 1950 | Unevaluated | | Commercial |
| 551 | 0T230019A00 | 114 | NASSAU | PL | 1914 | Unevaluated | | Commercial |
| 552 | 0T230024A00 | 0 | RAILROAD | ST | | Vacant | | Vacant |
| 553 | 0T230025 | 0 | RAILROAD | ST | | Vacant | | Vacant |
| 554 | 0T230026 | 0 | RAILROAD | ST | | Vacant | | Vacant |
| 555 | 0T230027 | 0 | RAILROAD | ST | | Vacant | | Vacant |
| 556 | 0T230028 | 317 | RAILROAD | ST | 0 | Vacant | | Vacant |
| 557 | 0T230032 | 0 | RAILROAD | ST | | Vacant | | Vacant |
| 558 | 0T230033 | 108 | O'NEAL | AVE | 1940 | Non-Contributing | Altered | Residential |
| 559 | 0T230034 | 110 | O'NEAL | AVE | 1900 | Contributing | | Residential |
| 560 | 0T230035 | 112 | O'NEAL | AVE | c1940 | Contributing | | Residential |
| 561 | 0T230036 | 209 | O'NEAL | AVE | 1980 | Non-Contributing | | Residential |
| 562 | 0T230037 | 205 | O'NEAL | AVE | 1930 | Contributing | | Residential |
| 563 | 0T230038 | 113 | O'NEAL | AVE | c1930 | Contributing | | Residential |
| 564 | 0T230038A00 | 0 | O'NEAL | AVE | | Vacant | | Vacant |
| 565 | 0T230039 | 322 | RAILROAD | ST | 1900 | Contributing | | Residential |
| 566 | 0T230040 | 318 | RAILROAD | ST | 1900 | Contributing | | Residential |
| 567 | 0T230041 | 314 | RAILROAD | ST | 1920 | Contributing | Altered | Residential |
| 568 | 0T230042 | 0 | RAILROAD | ST | | Vacant | | Vacant |
| 569 | 0T230043 | 0 | O'NEAL | AVE | | Vacant | | Vacant |

Thomson Residential Design Guidelines



| | | | | | | | | |
|-----|-------------|-----|--------------|-----|-------|------------------|------------------------------|-------------|
| 570 | 0T230080 | 214 | GREENWAY | ST | | Vacant | | Vacant |
| 571 | 0T230081 | 201 | WHITEOAK | ST | 1910 | Contributing | | Residential |
| 572 | 0T230082 | 205 | WHITEOAK | ST | 2020 | Non-Contributing | | Residential |
| 573 | 0T230083 | 209 | WHITEOAK | ST | 1920 | Contributing | Addition off of front facade | Residential |
| 574 | 0T230084 | 211 | WHITEOAK | ST | 1900 | Contributing | | Residential |
| 575 | 0T230085 | 217 | WHITEOAK | ST | 1910 | Contributing | | Residential |
| 576 | 0T230086 | 219 | WHITEOAK | ST | c1930 | Non-Contributing | Very altered | Residential |
| 577 | 0T230087 | 223 | WHITEOAK | ST | 1900 | Contributing | | Residential |
| 578 | 0T230088 | 225 | WHITEOAK | ST | 1914 | Contributing | | Residential |
| 579 | 0T230089 | 303 | WHITEOAK | ST | 1915 | Contributing | | Residential |
| 580 | 0T230090 | 0 | WHITEOAK | ST | | Vacant | | Vacant |
| 581 | 0T230091 | 311 | WHITEOAK | ST | 1860 | Contributing | | Residential |
| 582 | 0T230093 | 317 | WHITEOAK | ST | 1937 | Contributing | | Residential |
| 583 | 0T230094 | 321 | WHITEOAK | ST | 1940 | Contributing | May be earlier | Residential |
| 584 | 0T230095 | 403 | WHITEOAK | ST | 1940 | Contributing | | Residential |
| 585 | 0T230096 | 407 | WHITEOAK | ST | 1950 | Non-Contributing | | Residential |
| 586 | 0T230097 | 409 | WHITEOAK | ST | c1950 | Non-Contributing | | Residential |
| 587 | 0T230098 | 411 | WHITEOAK | ST | 1950 | Non-Contributing | | Residential |
| 588 | 0T230099 | 417 | WHITEOAK | ST | 1950 | Non-Contributing | | Residential |
| 589 | 0T230101 | 412 | WHITEOAK | ST | 1950 | Non-Contributing | | Residential |
| 590 | 0T230102 | 406 | WHITEOAK | ST | c1950 | Non-Contributing | | Residential |
| 591 | 0T230103 | 404 | WHITEOAK | ST | 1945 | Non-Contributing | Altered | Residential |
| 592 | 0T230104 | 400 | WHITEOAK | ST | 1950 | Non-Contributing | | Residential |
| 593 | 0T230105 | 322 | WHITEOAK | ST | 1940 | Contributing | | Residential |
| 594 | 0T230106 | 318 | WHITEOAK | ST | c1930 | Contributing | | Residential |
| 595 | 0T230107 | 314 | WHITEOAK | ST | 1900 | Contributing | | Residential |
| 596 | 0T230114 | 210 | WHITEOAK | ST | 1905 | Contributing | | Residential |
| 597 | 0T230115 | 206 | WHITEOAK | ST | 1905 | Contributing | | Residential |
| 598 | 0T230115A00 | 200 | WHITEOAK | ST | 1905 | Contributing | | Residential |
| 599 | 0T230121 | 211 | HOLT | ST | 1960 | Non-Contributing | | Residential |
| 600 | 0T230122 | 217 | HOLT | ST | c1930 | Contributing | | Residential |
| 601 | 0T230123 | 0 | HOLT | ST | 1920 | Contributing | | Residential |
| 602 | 0T230124 | 311 | CLEVELAND | ST | 2019 | Non-Contributing | | Residential |
| 603 | 0T230124A00 | 311 | CLEVELAND | ST | 2019 | Non-Contributing | | Residential |
| 604 | 0T230124R00 | 311 | CLEVELAND | ST | 2019 | Non-Contributing | | Residential |
| 605 | 0T230124D00 | 311 | CLEVELAND | ST | 2019 | Non-Contributing | | Residential |
| 606 | 0T230124E00 | 311 | CLEVELAND | ST | 2019 | Non-Contributing | | Residential |
| 607 | 0T230124F00 | 311 | CLEVELAND | ST | 2019 | Non-Contributing | | Residential |
| 608 | 0T230124G00 | 311 | CLEVELAND | ST | 2003 | Non-Contributing | | Residential |
| 609 | 0T230124H00 | 311 | CLEVELAND | ST | 2003 | Non-Contributing | | Residential |
| 610 | 0T230124I00 | 311 | CLEVELAND | ST | 2004 | Non-Contributing | | Residential |
| 611 | 0T230124J00 | 311 | CLEVELAND | ST | 2003 | Non-Contributing | | Residential |
| 612 | 0T230124K00 | 311 | CLEVELAND | ST | 2019 | Non-Contributing | | Residential |
| 613 | 0T230124M00 | 311 | CLEVELAND | ST | 2003 | Non-Contributing | | Residential |
| 614 | 0T230124N00 | 311 | CLEVELAND | ST | 2005 | Non-Contributing | | Residential |
| 615 | 0T230124P00 | 311 | CLEVELAND | ST | 2005 | Non-Contributing | | Residential |
| 616 | 0T230124Q00 | 223 | HOLT | ST | 1940 | Non-Contributing | Appears newer | Residential |
| 617 | 0T230125 | 0 | CLEVELAND | ST | | Vacant | | Vacant |
| 618 | 0T230126 | 309 | CLEVELAND | ST | 1922 | Contributing | | Residential |
| 619 | 0T230127 | 301 | CLEVELAND | ST | 1900 | Contributing | | Residential |
| 620 | 0T230128 | 0 | COBB | ST | | Vacant | | Vacant |
| 621 | 0T230129 | 208 | COBB | ST | 2004 | Non-Contributing | | Residential |
| 622 | 0T230130 | 302 | CLEVELAND | ST | 1939 | Contributing | | Residential |
| 623 | 0T230131 | 306 | CLEVELAND | ST | | Vacant | | Vacant |
| 624 | 0T230131A00 | 306 | CLEVELAND | ST | 1972 | Non-Contributing | | Residential |
| 625 | 0T230131B00 | 306 | CLEVELAND | ST | 1972 | Non-Contributing | | Residential |
| 626 | 0T230131C00 | 306 | CLEVELAND | ST | 1972 | Non-Contributing | | Residential |
| 627 | 0T230131D00 | 306 | CLEVELAND | ST | 1972 | Non-Contributing | | Residential |
| 628 | 0T230131E00 | 306 | CLEVELAND | ST | 1972 | Non-Contributing | | Residential |
| 629 | 0T230131F00 | 306 | CLEVELAND | ST | 1972 | Non-Contributing | | Residential |
| 630 | 0T230131G00 | 306 | CLEVELAND | ST | 1972 | Non-Contributing | | Residential |
| 631 | 0T230132 | 308 | CLEVELAND | ST | 1920 | Contributing | Abandoned | Residential |
| 632 | 0T310072 | 424 | E HILL | ST | | Unevaluated | | Commercial |
| 633 | 0T310073 | 420 | E HILL | ST | | Unevaluated | | Commercial |
| 634 | 0T310074 | 410 | E HILL | ST | | Unevaluated | | Commercial |
| 635 | 0T310075 | 400 | E HILL | ST | | Unevaluated | | Commercial |
| 636 | 0T310076A00 | 0 | E HILL | ST | | Vacant | | Vacant |
| 637 | 0T310077 | 0 | E HILL | ST | | Vacant | | Vacant |
| 638 | 0T31A003 | 117 | GREENWAY | ST | 1970 | Unevaluated | | Commercial |
| 639 | 0T31A004 | 0 | JOURNAL | ST | | Vacant | parking lot | Vacant |
| 640 | 0T31A004A00 | 134 | RAILROAD | ST | 1900 | Unevaluated | | Commercial |
| 641 | 0T31A005 | 0 | JOURNAL | ST | | Vacant | parking lot | Vacant |
| 642 | 0T31A005A00 | 0 | SCOTTS ALLEY | ST | | Vacant | parking lot | Vacant |
| 643 | 0T31A006 | 0 | JOURNAL | ST | | Vacant | parking lot | Vacant |
| 644 | 0T31A007 | 110 | JOURNAL | ST | 1920 | Unevaluated | | Commercial |
| 645 | 0T31A008 | 122 | MAIN | ST | 1900 | Unevaluated | HIGHRAIL RESTAURANT | Commercial |
| 646 | 0T31A009 | 118 | MAIN | ST | 1925 | Unevaluated | | Commercial |
| 647 | 0T31A010 | 114 | MAIN | ST | 1960 | Unevaluated | | Commercial |
| 648 | 0T31A011 | 110 | CENTRAL | AVE | | Vacant | parking lot | Vacant |
| 649 | 0T31A012 | 108 | RAILROAD | ST | 1910 | Unevaluated | | Commercial |
| 650 | 0T230168A00 | 230 | HOLT | ST | 1940 | Contributing | altered | Residential |
| 651 | 0T230168D00 | 319 | CLEVELAND | ST | 1950 | Non-Contributing | | Residential |
| 652 | 0T230169 | 228 | HOLT | ST | c1910 | Non-Contributing | Heavily altered | Residential |
| 653 | 0T230170 | 222 | HOLT | ST | 1940 | Contributing | | Residential |

Thomson Residential Design Guidelines



| | | | | | | | | | |
|-----|-------------|-----|---------------|-----|-------|------------------|---|---------------|--------------|
| 654 | OT230171 | 220 | HOLT | ST | 1950 | Non-Contributing | | | Residential |
| 655 | OT230172 | 216 | HOLT | ST | 1946 | Contributing | | | Residential |
| 656 | OT230173 | 212 | HOLT | ST | 1940 | Contributing | | | Residential |
| 657 | OT230174 | 210 | HOLT | ST | 1940 | Non-Contributing | | | Residential |
| 658 | OT230175 | 208 | HOLT | ST | 1940 | Non-Contributing | | | Residential |
| 659 | OT230176 | 201 | GORDON | ST | 1985 | Unevaluated | | | Commercial |
| 660 | OT230177 | 0 | RAILROAD | ST | | Vacant | | | Vacant |
| 661 | OT240001 | 223 | MAIN | ST | 0 | Unevaluated | | Post Office | Civic |
| 662 | OT240002 | 0 | JACKSON | ST | | Vacant | | | Vacant |
| 663 | OT240003 | 253 | JACKSON | ST | | Unevaluated | | Church | Church |
| 664 | OT240008 | 133 | W HILL | ST | | Unevaluated | | | Commercial |
| 665 | OT240009 | 109 | W HILL | ST | | Unevaluated | | CVS | Commercial |
| 666 | OT240010 | 315 | JACKSON | ST | | Vacant | | | Vacant |
| 667 | OT240012 | 329 | JACKSON | ST | 1920 | Contributing | | | Residential |
| 668 | OT240013 | 339 | JACKSON | ST | 1930 | Contributing | | | Residential |
| 669 | OT240016 | 0 | PITTS | ST | | Vacant | | | Vacant |
| 670 | OT240017 | 0 | PITTS | ST | | Vacant | | | Vacant |
| 671 | OT240018 | 418 | JACKSON | ST | | Unevaluated | | | Commercial |
| 672 | OT240019 | 416 | JACKSON | ST | | Unevaluated | | | Commercial |
| 673 | OT240020 | 400 | JACKSON | ST | c1950 | Non-Contributing | | | Residential |
| 674 | OT240021 | 0 | JACKSON | ST | | Vacant | | | Vacant |
| 675 | OT240022 | 107 | WATSON | ST | c1930 | Contributing | | | Residential |
| 676 | OT240023 | 111 | WATSON | ST | c1930 | Contributing | | | Residential |
| 677 | OT240024 | 115 | WATSON | ST | | Unevaluated | | | Multi-family |
| 678 | OT240026 | 110 | WATSON | ST | 1919 | Contributing | | | Residential |
| 679 | OT240027 | 108 | WATSON | ST | 1934 | Contributing | | | Residential |
| 680 | OT240028 | 324 | JACKSON | ST | 1930 | Contributing | Y | Office | Commercial |
| 681 | OT240029 | 318 | JACKSON | ST | 1930 | Contributing | Y | Office | Commercial |
| 682 | OT240029A00 | 0 | JACKSON | ST | | Vacant | | | Vacant |
| 683 | OT240030 | 101 | E HILL | ST | | Unevaluated | | | Commercial |
| 684 | OT240033 | 110 | E HILL | ST | | Unevaluated | | | Commercial |
| 685 | OT240033A00 | 305 | BLACK | ST | c1940 | Contributing | | | Residential |
| 686 | OT240033B00 | 0 | JACKSON | ST | | Vacant | | | Vacant |
| 687 | OT240035 | 147 | E HILL | ST | | Unevaluated | | | Commercial |
| 688 | OT240036 | 303 | BLACK | ST | 1930 | Contributing | Y | | Commercial |
| 689 | OT240039 | 207 | E HILL | ST | | Unevaluated | | | Commercial |
| 690 | OT260110 | 119 | HUNT | ST | 1950 | Non-Contributing | | | Residential |
| 691 | OT250025001 | 441 | JACKSON | ST | | Unevaluated | | | Church |
| 692 | OT250029 | 0 | GULL | ST | | Vacant | | | Vacant |
| 693 | OT250030 | 511 | JACKSON | ST | c1920 | Non-Contributing | | altered | Residential |
| 694 | OT250031 | 0 | GULL | ST | | Vacant | | | Vacant |
| 695 | OT250032 | 546 | GULL | ST | c1970 | Non-Contributing | | | Residential |
| 696 | OT250076 | 533 | JACKSON | ST | | Unevaluated | | | Commercial |
| 697 | OT250077 | 607 | JACKSON | ST | 0 | Unevaluated | | | Church |
| 698 | OT250078 | 619 | JACKSON | ST | 1949 | Non-Contributing | | | Residential |
| 699 | OT250079 | 703 | JACKSON | ST | c1950 | Non-Contributing | | | Residential |
| 700 | OT250080 | 704 | JACKSON | ST | c1950 | Non-Contributing | | | Residential |
| 701 | OT250081 | 111 | FORREST CLARY | DR | c1970 | Non-Contributing | | | Residential |
| 702 | OT250086 | 620 | JACKSON | ST | c1980 | Non-Contributing | | | Residential |
| 703 | OT250087 | 616 | JACKSON | ST | 1910 | Contributing | | | Residential |
| 704 | OT250088 | 612 | JACKSON | ST | c1940 | Contributing | | | Residential |
| 705 | OT250089 | 610 | JACKSON | ST | 1971 | Non-Contributing | | | Residential |
| 706 | OT250090 | 604 | JACKSON | ST | 1951 | Non-Contributing | | | Residential |
| 707 | OT250091 | 600 | JACKSON | ST | 1920 | Contributing | | | Residential |
| 708 | OT250115 | 106 | CHERRY | ST | | Unevaluated | | | Multi-family |
| 709 | OT250116 | 540 | JACKSON | ST | | Unevaluated | | denist office | Commercial |
| 710 | OT310068 | 452 | E HILL | ST | | Vacant | | | Vacant |
| 711 | OT260001 | 705 | JACKSON | ST | 1956 | Non-Contributing | | | Residential |
| 712 | OT260002 | 711 | JACKSON | ST | 1952 | Non-Contributing | | | Residential |
| 713 | OT260003 | 713 | JACKSON | ST | c1920 | Contributing | | | Residential |
| 714 | OT260004 | 721 | JACKSON | ST | 1969 | Non-Contributing | | | Residential |
| 715 | OT260005 | 809 | JACKSON | ST | c1950 | Non-Contributing | | | Residential |
| 716 | OT260007 | 821 | JACKSON | ST | c1930 | Contributing | | | Residential |
| 717 | OT260008 | 825 | JACKSON | ST | 1968 | Non-Contributing | | | Residential |
| 718 | OT260009 | 0 | JACKSON | ST | | Vacant | | | Vacant |
| 719 | OT260010 | 831 | JACKSON | ST | c1960 | Non-Contributing | | | Residential |
| 720 | OT260010A00 | 0 | JACKSON | ST | | Vacant | | | Vacant |
| 721 | OT260011 | 837 | JACKSON | ST | c1950 | Non-Contributing | | | Residential |
| 722 | OT260012 | 839 | JACKSON | ST | c1950 | Non-Contributing | | | Residential |
| 723 | OT260013 | 903 | JACKSON | ST | c1960 | Non-Contributing | | | Residential |
| 724 | OT260014 | 909 | JACKSON | ST | 1967 | Non-Contributing | | | Residential |
| 725 | OT260015 | 913 | JACKSON | ST | c1970 | Non-Contributing | | mobile home | Residential |
| 726 | OT260022 | 836 | JACKSON | ST | 1950 | Non-Contributing | | | Residential |
| 727 | OT260024A00 | 830 | JACKSON | ST | 1960 | Non-Contributing | | | Residential |
| 728 | OT260025 | 826 | JACKSON | ST | 1969 | Non-Contributing | | | Residential |
| 729 | OT260026 | 822 | JACKSON | ST | 1952 | Non-Contributing | | | Residential |
| 730 | OT260026A00 | 820 | JACKSON | ST | 1986 | Non-Contributing | | | Residential |
| 731 | OT260029 | 808 | JACKSON | ST | c1950 | Non-Contributing | | | Residential |
| 732 | OT260033 | 716 | JACKSON | ST | c1950 | Non-Contributing | | | Residential |
| 733 | OT260034 | 712 | JACKSON | ST | c1950 | Non-Contributing | | | Residential |
| 734 | OT260035 | 708 | JACKSON | ST | c1950 | Non-Contributing | | | Residential |
| 735 | OT310001 | 407 | E HILL | ST | | Unevaluated | | | Commercial |
| 736 | OT310002 | 315 | BUSSEY | AVE | | Unevaluated | | | Commercial |
| 737 | OT310003 | 0 | E HILL | ST | | Unevaluated | | | Commercial |
| 738 | OT310004 | 451 | E HILL | ST | | Unevaluated | | | Commercial |
| 739 | OT310005 | 0 | E HILL | ST | | Unevaluated | | | Commercial |

Thomson Residential Design Guidelines



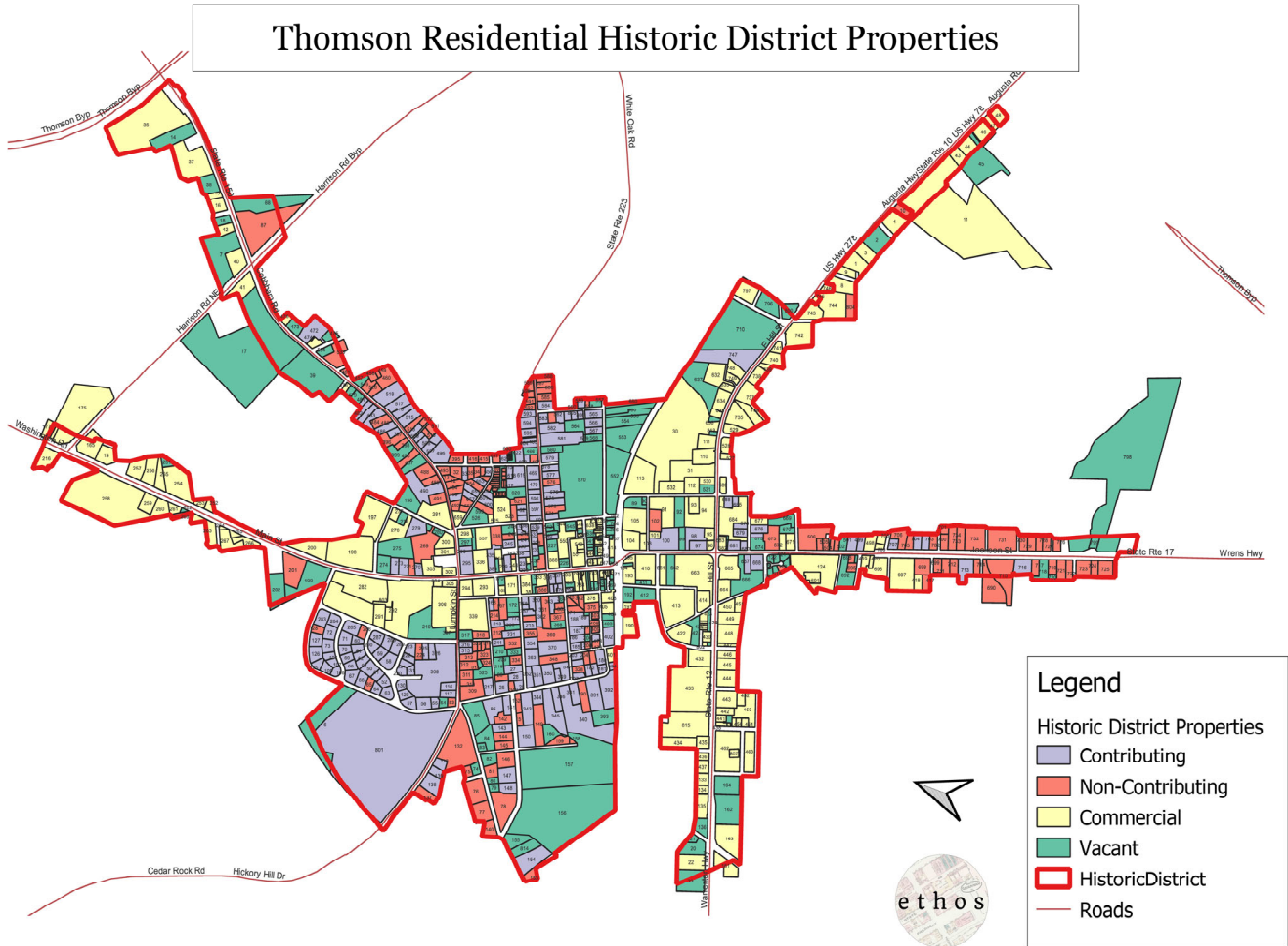
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|-----|-------------|-----|-------------|-----|-------|------------------|---|-------------------------|-------------|
| 740 | 0T310006 | 509 | E HILL | ST | | Unevaluated | | | Commercial |
| 741 | 0T310007 | 521 | E HILL | ST | | Unevaluated | | | Commercial |
| 742 | 0T310046 | 409 | SALEM | RD | | Unevaluated | | | Commercial |
| 743 | 0T310053 | 619 | AUGUSTA | RD | | Unevaluated | | | Commercial |
| 744 | 0T310053A00 | 631 | AUGUSTA | RD | | Unevaluated | | | Commercial |
| 745 | 0T310054 | 639 | AUGUSTA | RD | | Unevaluated | | | Commercial |
| 746 | 0T310055 | 656 | AUGUSTA | RD | | Unevaluated | | | Commercial |
| 747 | 0T310069 | 454 | E HILL | ST | c1930 | Contributing | Y | | Commercial |
| 748 | 0T310070 | 440 | E HILL | ST | | Unevaluated | | | Commercial |
| 749 | 0T310071 | 0 | E HILL | ST | | Unevaluated | | | Commercial |
| 750 | 0T31A013 | 112 | RAILROAD | ST | 1910 | Unevaluated | | | Commercial |
| 751 | 0T31A015 | 120 | RAILROAD | ST | 1900 | Unevaluated | | | Commercial |
| 752 | 0T31A016 | 124 | RAILROAD | ST | 1900 | Unevaluated | | | Commercial |
| 753 | 0T31A017 | 126 | RAILROAD | ST | 1900 | Unevaluated | | | Commercial |
| 754 | 0T31A018 | 128 | RAILROAD | ST | 1900 | Unevaluated | | | Commercial |
| 755 | 0T31A019 | 0 | RAILROAD | ST | | Vacant | | | Vacant |
| 756 | 0T31A020 | 132 | RAILROAD | ST | 1900 | Unevaluated | | | Commercial |
| 757 | 0T31A021 | 136 | RAILROAD | ST | 1940 | Unevaluated | | | Commercial |
| 758 | 0T31A022 | 138 | RAILROAD | ST | 1900 | Unevaluated | | | Commercial |
| 759 | 0T31A022A00 | 140 | RAILROAD | ST | 1900 | Unevaluated | | | Commercial |
| 760 | 0T31A023 | 142 | RAILROAD | ST | 1900 | Unevaluated | | | Commercial |
| 761 | 0T31A024 | 146 | RAILROAD | ST | 1895 | Unevaluated | | | Commercial |
| 762 | 0T31A025 | 0 | RAILROAD | ST | | Vacant | | parking lot | Vacant |
| 763 | 0T31A026 | 0 | RAILROAD | ST | | Vacant | | parking lot | Vacant |
| 764 | 0T31A027 | 0 | RAILROAD | ST | | Vacant | | parking lot | Vacant |
| 765 | 0T31A028 | 0 | RAILROAD | ST | | Vacant | | parking lot | Vacant |
| 766 | 0T31A029 | 0 | RAILROAD | ST | | Vacant | | parking lot | Vacant |
| 767 | 0T31A030A00 | 0 | RAILROAD | ST | | Vacant | | parking lot | Vacant |
| 768 | 0T31A031 | 0 | MAIN | ST | | Vacant | | parking lot | Vacant |
| 769 | 0T31A032 | 0 | HENDRICKS | ST | | Vacant | | | Vacant |
| 770 | 0T31A033 | 0 | MAIN | ST | | Vacant | | | Vacant |
| 771 | 0T31A034 | 0 | W HENDRICKS | ST | | Vacant | | | Vacant |
| 772 | 0T31A035 | 103 | MAIN | ST | 1910 | Unevaluated | | | Commercial |
| 773 | 0T31A036 | 105 | MAIN | ST | 1910 | Unevaluated | | | Commercial |
| 774 | 0T31A037 | 107 | MAIN | ST | 1920 | Unevaluated | | | Commercial |
| 775 | 0T31A038 | 109 | MAIN | ST | 1930 | Unevaluated | | | Commercial |
| 776 | 0T31A038A00 | 111 | MAIN | ST | 1910 | Unevaluated | | | Commercial |
| 777 | 0T31A038B00 | 0 | S OF FIRST | AVE | | Vacant | | parking lot | Vacant |
| 778 | 0T31A039 | 113 | MAIN | ST | 1894 | Unevaluated | | | Commercial |
| 779 | 0T31A040 | 0 | FIRST | AVE | | Vacant | | parking lot | Vacant |
| 780 | 0T31A040A00 | 0 | FIRST | AVE | | Vacant | | parking lot | Vacant |
| 781 | 0T31A041 | 0 | FIRST | AVE | | Vacant | | parking lot | Vacant |
| 782 | 0T31A042 | 0 | FIRST | AVE | | Vacant | | parking lot | Vacant |
| 783 | 0T31A043 | 121 | MAIN | ST | 1900 | Unevaluated | | | Civic |
| 784 | 0T31A044 | 127 | MAIN | ST | 1920 | Unevaluated | | | Commercial |
| 785 | 0T31A044A00 | 0 | MAIN | ST | | Vacant | | parking lot | Vacant |
| 786 | 0T31A045 | 0 | MAIN | ST | | Vacant | | parking lot | Vacant |
| 787 | 0T31A046 | 0 | MAIN | ST | | Vacant | | parking lot | Vacant |
| 788 | 0T31A047 | 131 | MAIN | ST | 1950 | Unevaluated | | | Commercial |
| 789 | 0T31A047A00 | 133 | MAIN | ST | 1950 | Unevaluated | | | Commercial |
| 790 | 0T31A048 | 135 | MAIN | ST | 1910 | Unevaluated | | | Commercial |
| 791 | 0T31A049 | 137 | MAIN | ST | 1925 | Unevaluated | | | Commercial |
| 792 | 0T31A050 | 139 | MAIN | ST | 1910 | Unevaluated | | | Commercial |
| 793 | 0T31A051 | 149 | MAIN | ST | c1930 | Unevaluated | | | Commercial |
| 794 | 0T31A052 | 119 | MILLEDGE | ST | 1900 | Contributing | Y | | Commercial |
| 795 | 0T31A052A00 | 0 | MILLEDGE | ST | | Vacant | | | Vacant |
| 796 | 0T310065ICL | 606 | BOULEVARD | DR | | Vacant | | | Vacant |
| 797 | 0T310066ICL | 605 | BLVD | DR | | Unevaluated | | | Commercial |
| 798 | 0T330119 | 0 | OFF WRENS | HWY | | Vacant | | | Vacant |
| 799 | 0T330122 | 0 | JACKSON | ST | | Vacant | | | Vacant |
| 800 | 0T310059 | 602 | E HILL | ST | | Vacant | | | Vacant |
| 801 | 00300050IC1 | 700 | CEDAR ROCK | RD | 1864 | Contributing | Y | Two buildings- Museum | Civic |
| 802 | 0T150074 | 238 | W HILL | ST | | Unevaluated | | | Commercial |
| 803 | 0T130081 | 602 | MAIN | ST | 0 | Unevaluated | | School | Civic |
| 804 | 0T310053B00 | 426 | SALEM | RD | 1963 | Non-Contributing | | | Residential |
| 805 | 0T230038B00 | 201 | ONEAL | AVE | 1930 | Contributing | | | Residential |
| 806 | 0T230038C00 | 111 | ONEAL | AVE | c1930 | Contributing | | | Residential |
| 807 | 0T160012A00 | 0 | W HILL | ST | | Unevaluated | | Pool | Civic |
| 808 | 0T230124B00 | 311 | CLEVELAND | ST | 2019 | Non-Contributing | | | Residential |
| 809 | 0T230124C00 | 311 | CLEVELAND | ST | 2019 | Non-Contributing | | | Residential |
| 810 | 0T230124S00 | 311 | CLEVELAND | ST | 2019 | Non-Contributing | | | Residential |
| 811 | 0T230124T00 | 311 | CLEVELAND | ST | 2019 | Non-Contributing | | | Residential |
| 812 | 0T230124L00 | 311 | CLEVELAND | ST | 2019 | Non-Contributing | | | Residential |
| 813 | 0T240049F00 | 0 | E HILL | ST | | Vacant | | | Vacant |
| 814 | 0T050002A00 | 0 | LUMPKIN | ST | | Vacant | | | Vacant |
| 815 | 0T150076 | 312 | W HILL | ST | | Unevaluated | | | Commercial |
| 816 | 0T140009 | 0 | | | | Unevaluated | | No info in tax assessor | |
| 817 | 0T140011A00 | 0 | | | | Unevaluated | | No info in tax assessor | |
| 818 | 0T31A030 | 0 | | | | Unevaluated | | | |
| 819 | RR | 0 | | | | Vacant | | | Vacant |
| 820 | 0T130021B00 | 0 | | | | Unevaluated | | No info in tax assessor | |

* Indicates resource is within the Hickory Hills Subdivision Character Area

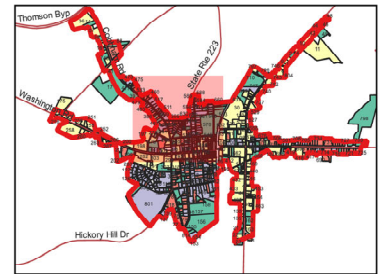
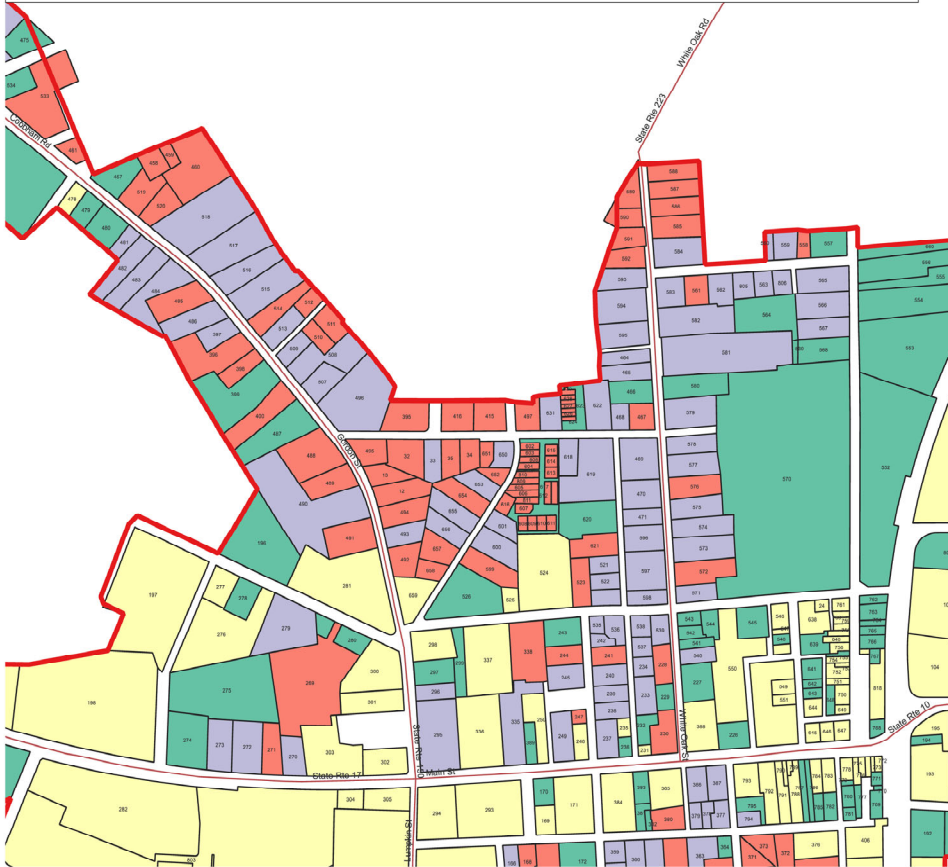
Thomson Residential Design Guidelines



F. Maps



Thomson Residential Historic District Properties



Legend

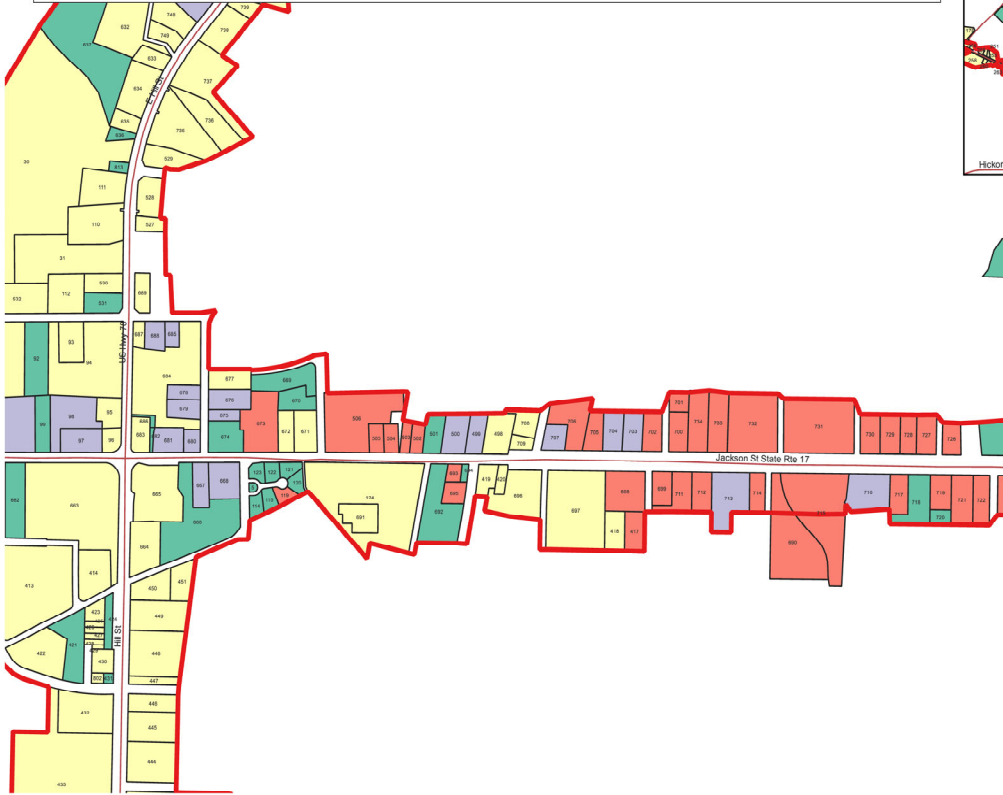
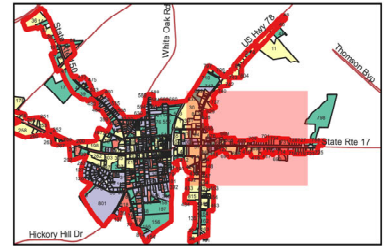
Historic District Properties

- Contributing
- Non-Contributing
- Commercial
- Vacant
- Historic District
- Roads

Thomson Residential Design Guidelines



Thomson Residential Historic District Properties

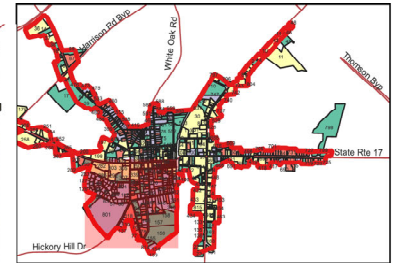
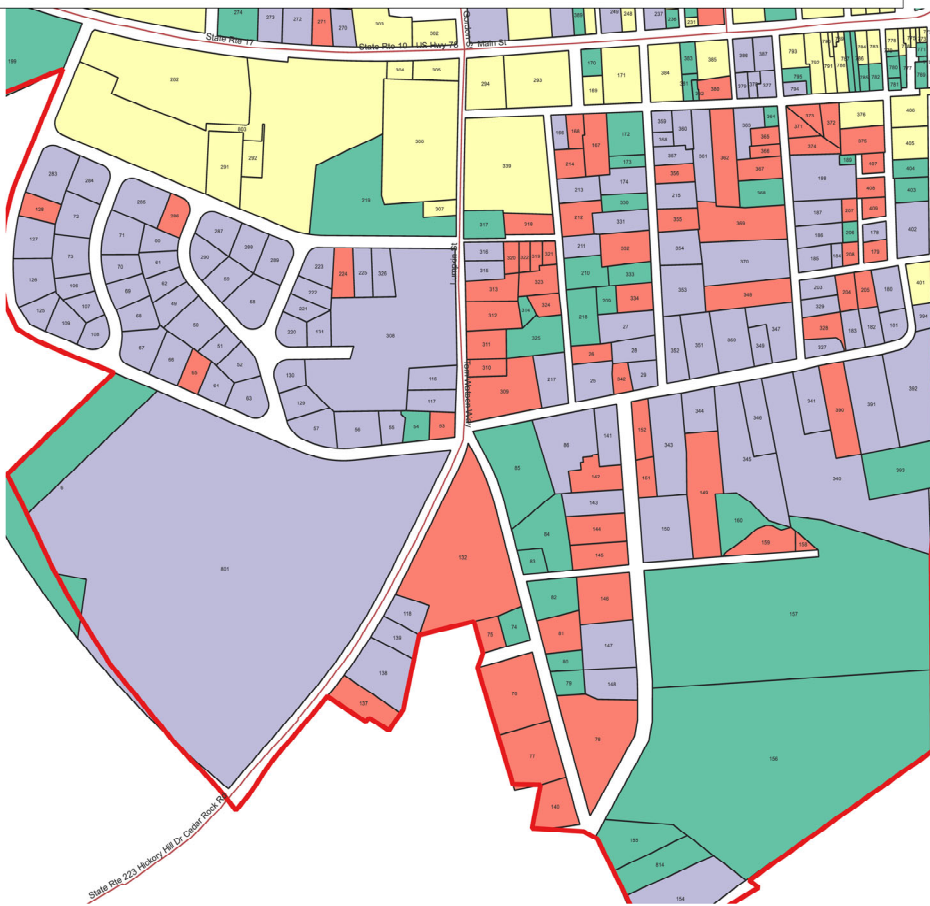


Legend

- Historic District Properties
- Contributing
- Non-Contributing
- Commercial
- Vacant
- Historic District
- Roads



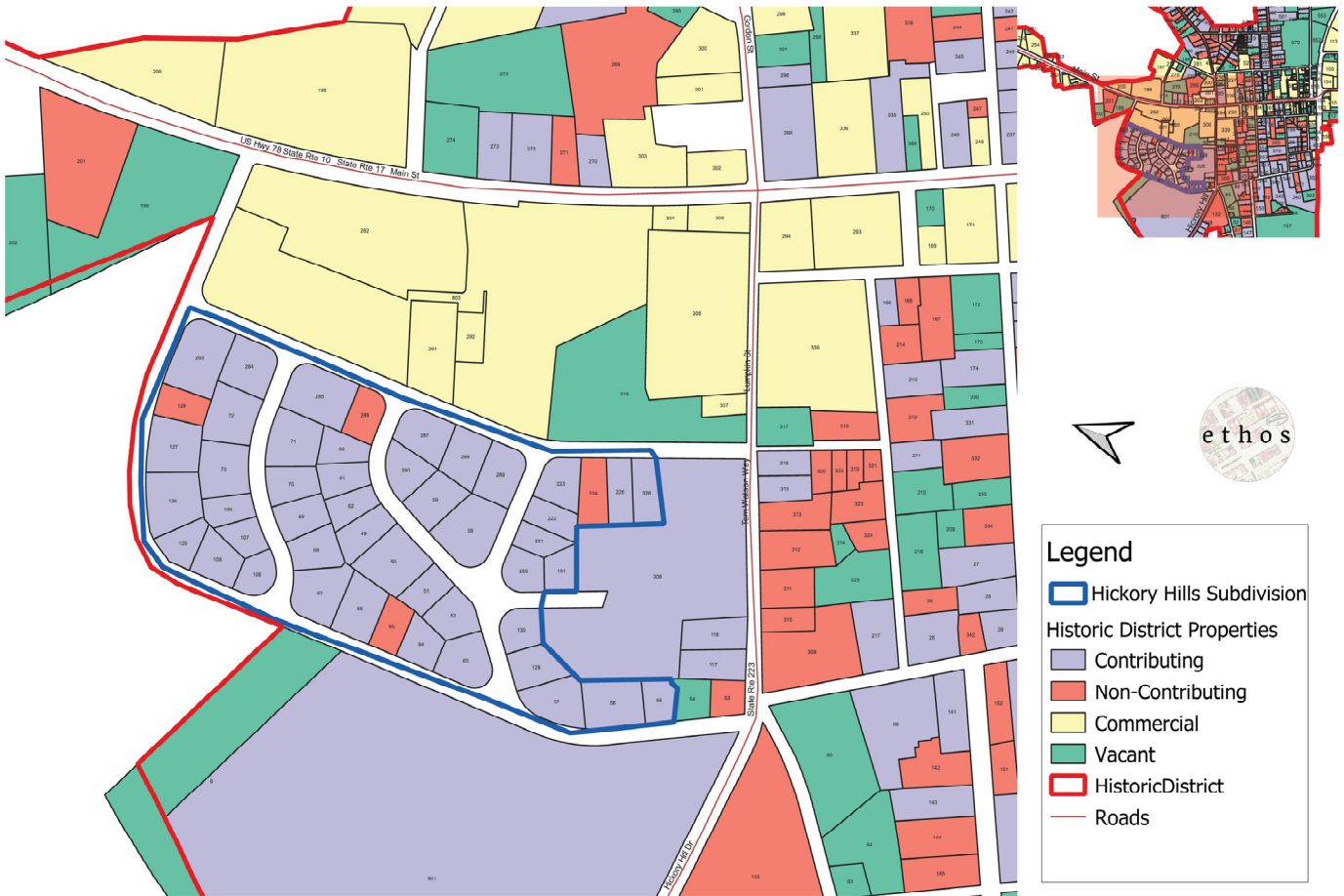
Thomson Residential Historic District Properties



Legend

- Historic District Properties
- Contributing
- Non-Contributing
- Commercial
- Vacant
- Historic District
- Roads





Legend

- Hickory Hills Subdivision
- Historic District Properties**
- Contributing
- Non-Contributing
- Commercial
- Vacant
- Historic District
- Roads

Thomson Residential Design Guidelines



G. Legal Description

The Thomson Historic District I encompasses an area bounded by and commencing at the corner of Leslie Street and Main Street (OT 130-021-A00, OT130-019000 through OT130-016-000) traversing in a southeast direction, containing the Armory, Stadium, and along MLK, Jr. Street the Springfield Baptist Church. Proceeding along the northeast and -west sides of Gordon Street including Old Ellington Plantation, crossing to the south Mendel Avenue, Anderson Avenue, Ellington Avenue, and including Pecan Alley (OT130-015-000, OT220-083-000, OT220-080-000 through OT220-074-000) and (OT220-091-000 through OT220-106-000, and OT220-186-A00, OT188-000, OT210-018-000, OT210-012-000).

Proceeding southeast along Cleveland Street, crossing Edgar Circle(OT220-124-000, OT230-154-000, OT230-155-000) and crossing Holt Street (OT230-133-000 though OT230-130-000). Proceeding northeast along White Oak Street including part of McLean Street (OT230-109-000 through OT230-94-000,) to the intersection of Holt Street and Oak Court. Proceeding southeast along O'Neal Avenue to Railroad Street (OT230-032-000 through OT230-039-000). Continuing southeast including (OT230-177-000) and crossing the railroad tracks (OT240-049-000) to East Hill Street. Continuing southwest along East Hill Street (OT240-043-000 through OT240-038) to the intersection of Black Street and Watson Street (OT240-033) and south along Jackson Street/SR 17 (OT240-024-000 through OT240-016-000) crossing Pitts Street (OT250-126-000 through OT250-115-000), crossing Cherry Street, and terminating at the intersection of Forest Clary Drive (OT250-091-000 through OT250-091-000).

Proceeding again north along SR 17 on the west side (OT250-074-000 through OT250-078-000, OT250-059-000 through OT250-060-000), crossing Truman and Guill Streets (OT250-029-000 through OT250-032-000), including on Wilson Street, the Church of God in Christ (OT250-025-000) and Central Extension. Including the cul de sac and properties of Ware Street (OT250-021-A00 through OT250-021-H00). Proceeding northwest along Johnson Avenue (OT240-013-000) and then west along West Hill Street (OT150-093-000 through OT150-086-000), crossing National Avenue and Fluker Street (OT150-006-000 through OT150-007-000, crossing Hospital Drive, Emergency Room Drive, and terminating at Ansley Drive (OT160-013-000 through OT060-012-A00).

Proceeding northeast along Ansley Drive (OT060-005-000, OT050-012-000, OT050-013-000, part of 00310-001-000 and OT050-011-000), crossing the railroad tracks and proceeding northwest including the Westview Old Cemetery and New Cemetery (OT050-001-000 through OT050-004-000). Boundary crosses Mesena Road north to Cedar Rock Road following the old city boundary and includes (parts of 00300-003C00, 00300-003-A00, OT040-036-000, OT040-029-000, OT040-027-A00, OT040-025-A00). Boundary crosses Cedar Road/Hickory Hill Drive to include Hickory Hill (00300-050-000) to Magnolia Drive.

Boundary proceeds west along Magnolia Drive (OT030-057-000 through OT030-058-000) crossing Hemlock Drive (OT030-076-000 through OT030-078-000), crossing Beechwood Drive (OT030-095-000 through OT030-096-000), crossing Chestnut Drive (OT030-109-000, OT030-120-000), proceeding north along Magnolia Drive (OT030-126-000 through OT030-124-000, OT020-067-000 through OT020-060-000) to Larch Lane. Boundary proceeds southeast along Beechwood Drive (OT020-003-000 through OT020-001-000, OT030-110-000 through OT030-115-000). Boundary proceeds northeast along Leslie Street (OT130-021-A00) until it terminates at the point of origin with the Armory parcel.



H. Glossary of Terms

Abbreviations

HPC. Historic Preservation Commission

COA. Certificate of Appropriateness

Terms

Building Type. This refers to the overall form of a building, its outline or envelope; and in some cases relates to its layout or floorplan.

Certificate of Appropriateness. A document evidencing approval by the Historic Preservation Commission of an application to make a material change in the exterior appearance of a resource located within a designated historic district.

Contributing. Any resource located within a historic district which adds to the historical integrity or architectural qualities that make the historic district significant.

Deteriorated Beyond Repair. While each material has a different threshold, “deteriorated beyond repair” generally means that more than 50% of a material feature is no longer in serviceable condition and is no longer feasible to repair by patching, splicing, or otherwise reinforcing deteriorated materials.

Design Review. The evaluation of any proposed exterior work upon a property within the Thomson Historic District to ensure it is consistent with the standards and guidelines adopted for the district.

Distinct But Compatible. This statement refers to the design of additions to contributing buildings, which should be compatible with the character of the historic building but also stand as a product of its own time. Subtle changes in material and architectural details may assist in distinguishing additions from original buildings.

Maintenance. Activities that involve the preservation or repair of existing historic materials and building form. Integrity. Ability for a resource to convey its significance through location, design, setting, materials, workmanship, feeling, and association.

Non-Contributing. Any resource that is within the bounds of a historic district but does not add to the historical integrity or architectural qualities that make the historic district significant.

Secretary of Interior’s Standards for Rehabilitation. Ten standards for historic building rehabilitation codified as 36 CFR 67 as part of the National Historic Preservation Act.

Period of Significance. The length of time when a district was associated with important events, activities, or persons, or attained the characteristics which qualify it for historic designation.

Primary façade. The facade of a building that faces the street or possesses the most prominent architectural



articulation.

Rehabilitation. The process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.

Zoning Administrator. The designated City staff person who administers the building code and reviews building permit applications.



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